



# Friends Seminary

Presentation to NYC Landmarks Preservation  
Commission

21 April 2015

Kliment Halsband Architects

# FRIENDS SEMINARY RE-DEVELOPMENT PROJECT NYC LPC SUBMISSION 16 APRIL 2015



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## SITE

Friends Seminary is located on East 16th Street at Rutherford Place, adjoining Stuyvesant Square Park. Friends Seminary is part of an historic campus in the Stuyvesant Square Historic District that includes two individually landmarked buildings; the Friends Meeting House and 15 Rutherford Place and Old School built in 1860. Hunter Hall, a four story building, was built in 1963. The three townhouses to the west, 212, 214 and 216 East 16th Street, built in 1852, have been acquired over time by Friends Seminary. These elegant four-story Anglo-Italianate houses are part of an original row of eight houses, two of which were replaced by the construction of Hunter Hall. The Annex, across 15th Street from the Meeting House, was originally a Masonic Lodge and is outside the Historic District. New York City Zoning for the site limits building height to seventy five feet. Play roof enclosures, mechanical and stair bulkheads and greenhouse are permitted to exceed this height in limited areas.

"The Landmarks Preservation Commission recognizes that the new portion of the Friends Seminary School (located at 220 East 16 Street) is wholly used for school purposes and that in the years ahead expansion or a change may be required, entailing alterations to the existing structure or the creation of another structure on this portion of the Seminary property. The designation of this Historic District is not intended to freeze the present structure, prevent future appropriate alterations or the creation of a new structure to meet the changing requirements of the school. The Commission wishes to state that it recognizes the potential need for these changes and looks forward to working with the Society of Friends should they ever desire to make them."

- Stuyvesant Square Historic District Designation Report 1975, Statement by the Commission

## DESIGN PROPOSAL

In the Spring of 2014, Friends Seminary commissioned Kliment Halsband Architects to develop a program of space needs and a design for the School to meet its academic mission. The approved design combines the three townhouses and Hunter Hall into one building, with floors aligned. Two additional floors of academic space and a new playroof on Hunter Hall are added. The roof of the new construction is 70 feet above curb level, which is below the maximum permitted height. The additional floors in the townhouses are concealed behind the historic facades and set back from the sight lines, to be invisible from the street. The additional floors on Hunter Hall extend the façade and set back in accordance with zoning requirements. The Great Room, a one story addition in the rear yard of the townhouses, brings school activities to the west side of the courtyard, completing the enclosure as a campus space. A new elevator and stair provide access to the combined buildings. With the completion of this project, all spaces in the school are accessible.

The historic street façade of the townhouses is restored, with modern intrusions removed to recreate the uniformity of the original block. The original second floor balcony, spanning all three townhouses, is reconstructed. Street front gardens are restored with fencing to match the existing original fencing, and a new accessible entrance ramp is incorporated into the garden of # 216. The south elevation of the townhouses, facing onto the courtyard and adjoining buildings, is made of brick with aluminum windows, extending the design vocabulary of Hunter Hall. The upper floors are a lighter colors of brick, and window areas are larger, increasing the amount of light reaching the classrooms, and maximizing the amount of light reflected into the courtyard.

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The townhouses are the new home for the Upper School. A street level entrance brings visitors directly into a welcoming lobby. The Alumni room, Great Room, Admissions Office, and Library open onto this new space. Floors within the townhouse are organized around a new stair and elevator core and student gathering space on each floor, with classrooms and offices beyond. Key elements on upper floors include a new second floor music suite opening onto the Great Room balcony, the new Upper School Commons opening onto the Peace Garden and rooftop community space, new classrooms and offices. A greenhouse is at the roof level of the townhouses, and a mesh enclosed play structure at roof level replicates the existing enclosure on Hunter Hall. A central vertical element of patinated copper, matching the courtyard gallery roof, marks the corner of the courtyard and ties together the many structural volumes of the school. It is crowned with a Sky Space, designed in collaboration with James Turrell. This distinctive artwork, unique in the city, is a focal element for the School and Meeting House courtyard.

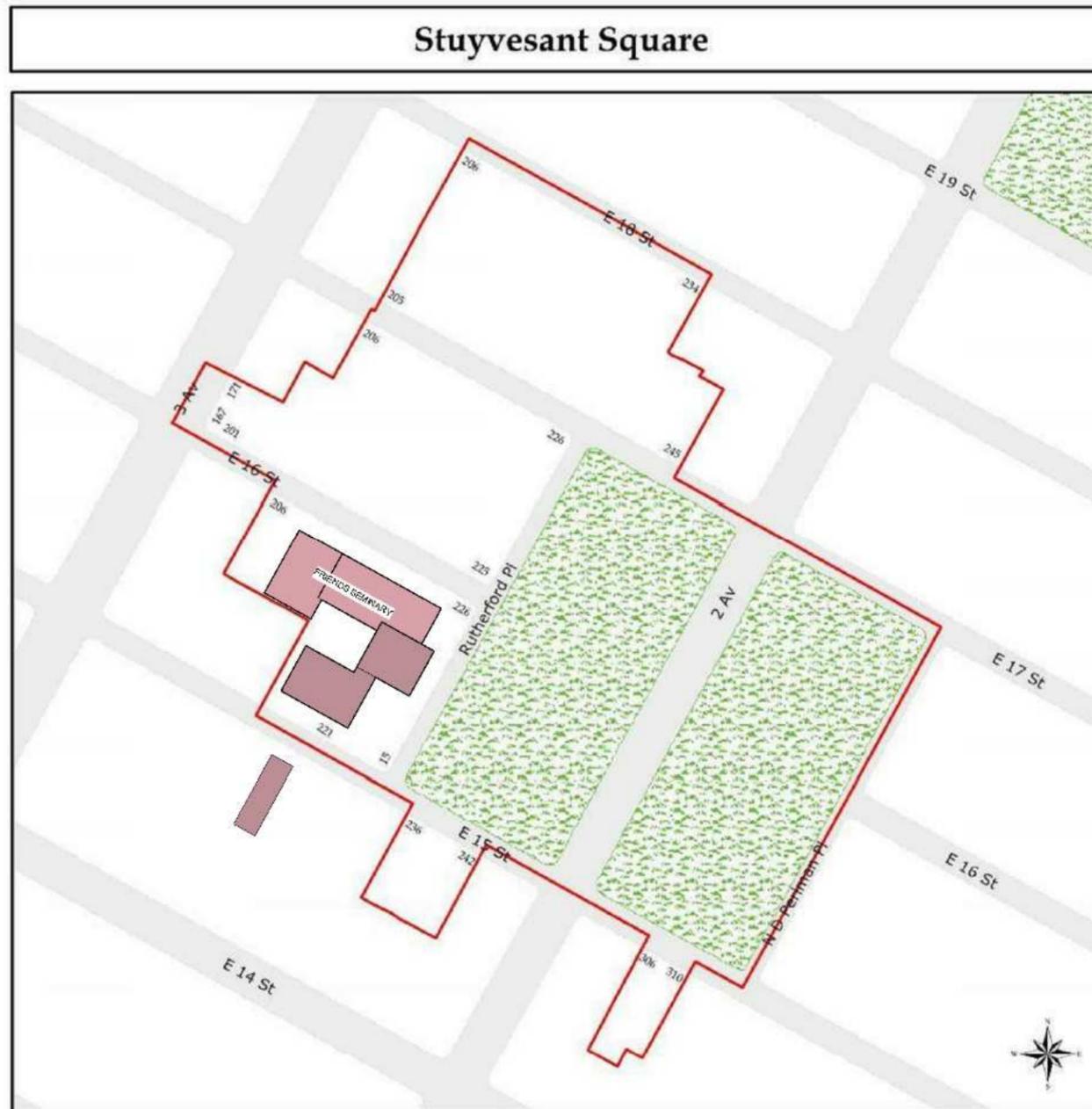
## PHASING

The first phase of construction is the addition of two floors of classrooms and a new play roof on Hunter Hall. This addition will be used as swing space to replace missing academic space in the townhouses during their demolition and reconstruction. The Townhouses will be reconstructed in the second phase of the work.

## PROJECT SUSTAINABILITY STATEMENT

In keeping with our long-standing obligation to global sustainability, Friends Seminary is committed in the design and construction of its facilities to create an academic setting that respects the environment, offers sustainable space, improves energy efficiency, and minimizes the environmental impact and ecological footprint. We will be guided by LEED Certification standards in our selection of materials, the utilization of natural light and clean air, and the reduction of dependence on natural resources including fossil fuels. We are aligned with the vision put forward by the City of New York to respect and make a positive impact on our environment. As one of the community's longest-term institutions, we enjoy our unique setting adjacent to historic Stuyvesant Square Park and our continuing responsibility to this important green space. We honor our Quaker mission of silence, study and service in our pursuit of environmental stewardship, and will utilize the redevelopment project as a major teaching and learning opportunity in our academic program, as we help our students "bring about the world that ought to be".

# Stuyvesant Square Historic District



**ZONING DESCRIPTION**

FRIENDS SEMINARY  
212-216 EAST 16TH STREET  
NEW YORK, NY 10003  
BLOCK: 897  
ZONING DISTRICT: R7-B  
COMMUNITY BOARD: 6  
ZONING MAP: 12C

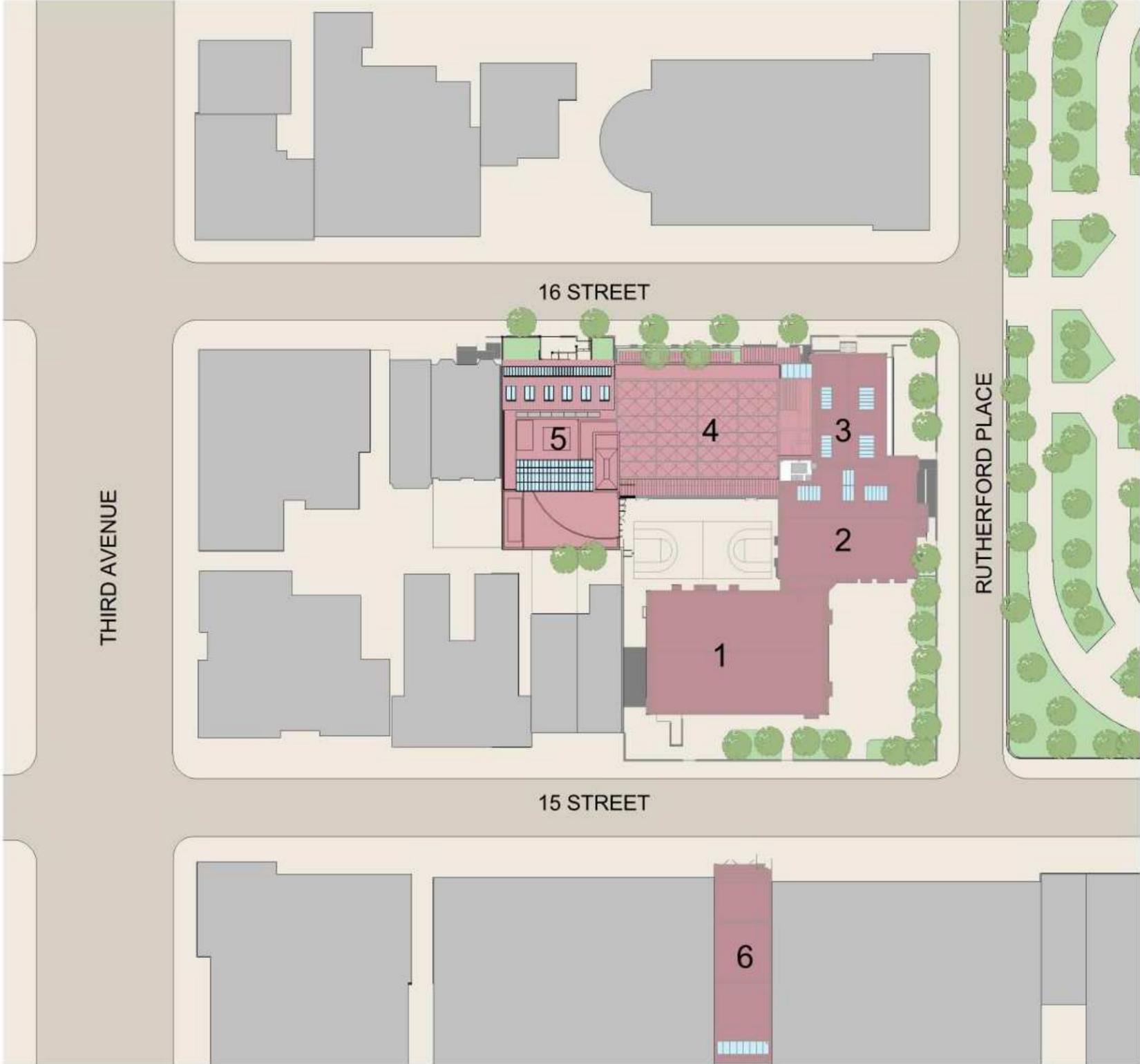
Stuyvesant Square  
Historic District  
Manhattan

Designated September 23, 1975

 Historic District Boundaries



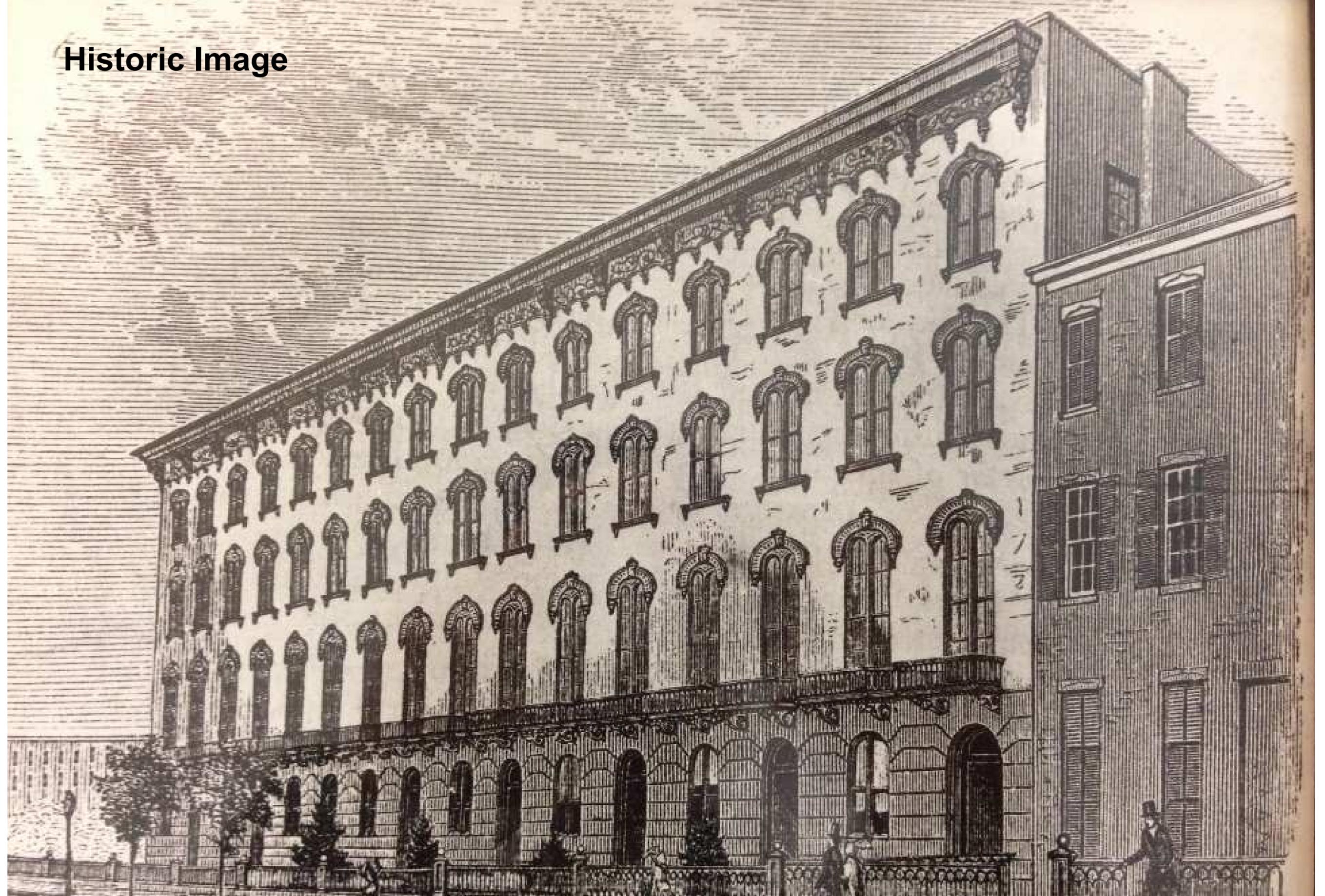
# Site Plan



- 1 FRIENDS MEETING HOUSE
- 2 MAIN BUILDING
- 3 OLD SCHOOL
- 4 HUNTER HALL
- 5 TOWNHOUSES
- 6 ANNEX



**Historic Image**



**Friends Seminary**

**Historic Image  
1961**



**Historic Image  
1963**



**Historic Image  
1965**



## **Stuyvesant Square Historic District Designation Report 1975, Statement by the Commission**

"The Landmarks Preservation Commission recognizes that the new portion of the Friends Seminary School (located at 220 East 16 Street) is wholly used for school purposes and that in the years ahead expansion or a change may be required, entailing alterations to the existing structure or the creation of another structure on this portion of the Seminary property. The designation of this Historic District is not intended to freeze the present structure, prevent future appropriate alterations or the creation of a new structure to meet the changing requirements of the school. The Commission wishes to state that it recognizes the potential need for these changes and looks forward to working with the Society of Friends should they ever desire to make them."

# South Side of 16<sup>th</sup> Street



# Schematic View from Northeast

Proposed



Existing



# Schematic View from Southeast

Proposed



Existing



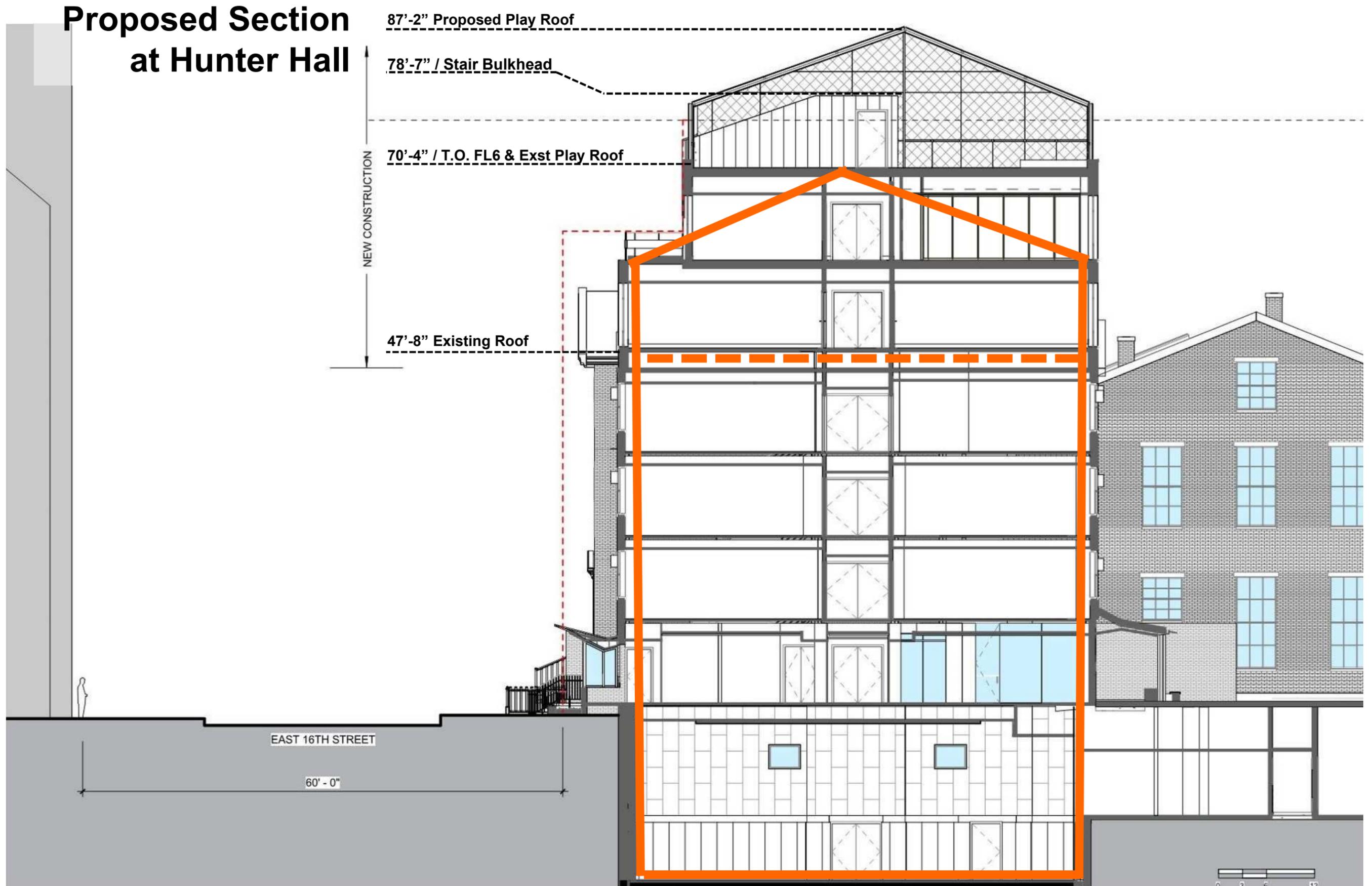
# Existing Elevation at Hunter Hall



# Proposed Elevation at Hunter Hall



# Proposed Section at Hunter Hall



# Brick & Roofing Samples



BRICK SAMPLES



ZINC (prePATINA BLUE-GREY) SAMPLE

**Townhouses 216,214,212 East 16<sup>th</sup> Street**



**Friends Seminary**

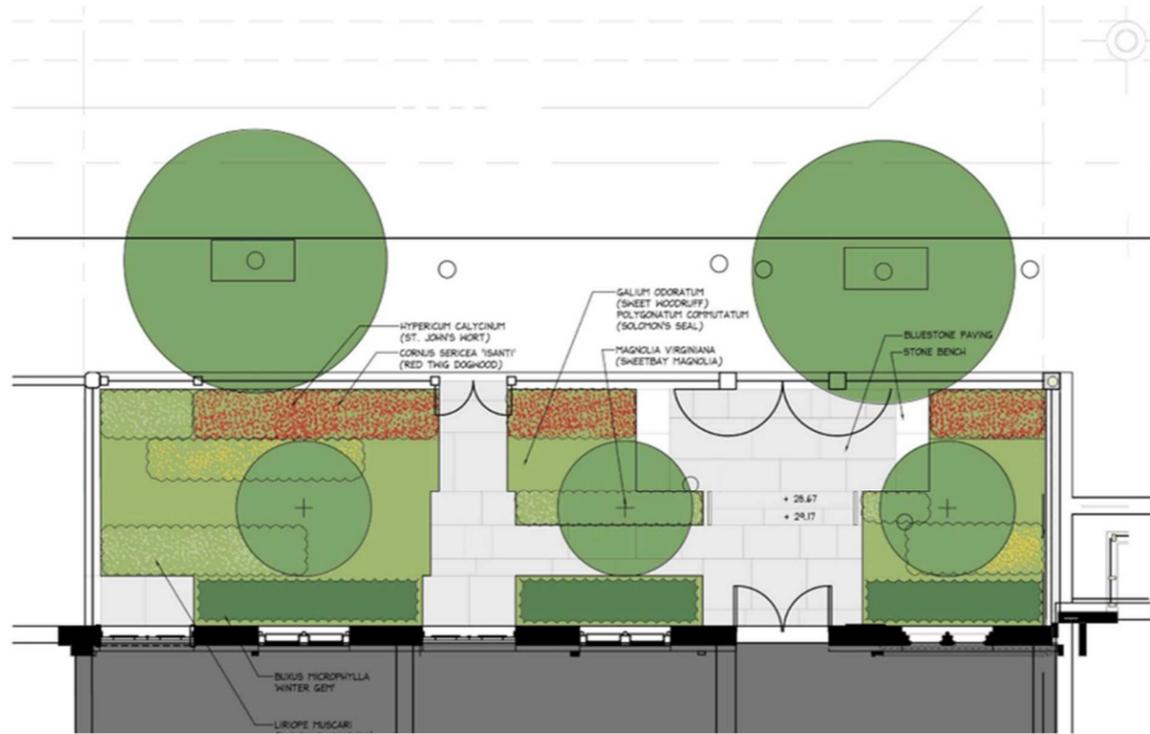
# Existing Elevation at Townhouses



# Proposed Elevation at Townhouses



# Gardens at 16<sup>th</sup> Street



PROPOSED



EXISTING



*Magnolia virginiana*  
Sweetbay Magnolia



*Buxus microphylla* 'Winter Gem'  
Boxwood



*Cornus sericea* 'Isanti'  
Red Twig Dogwood



*Hypericum calycinum*  
St. Johnswort



*Liriope muscari*  
Lily turf

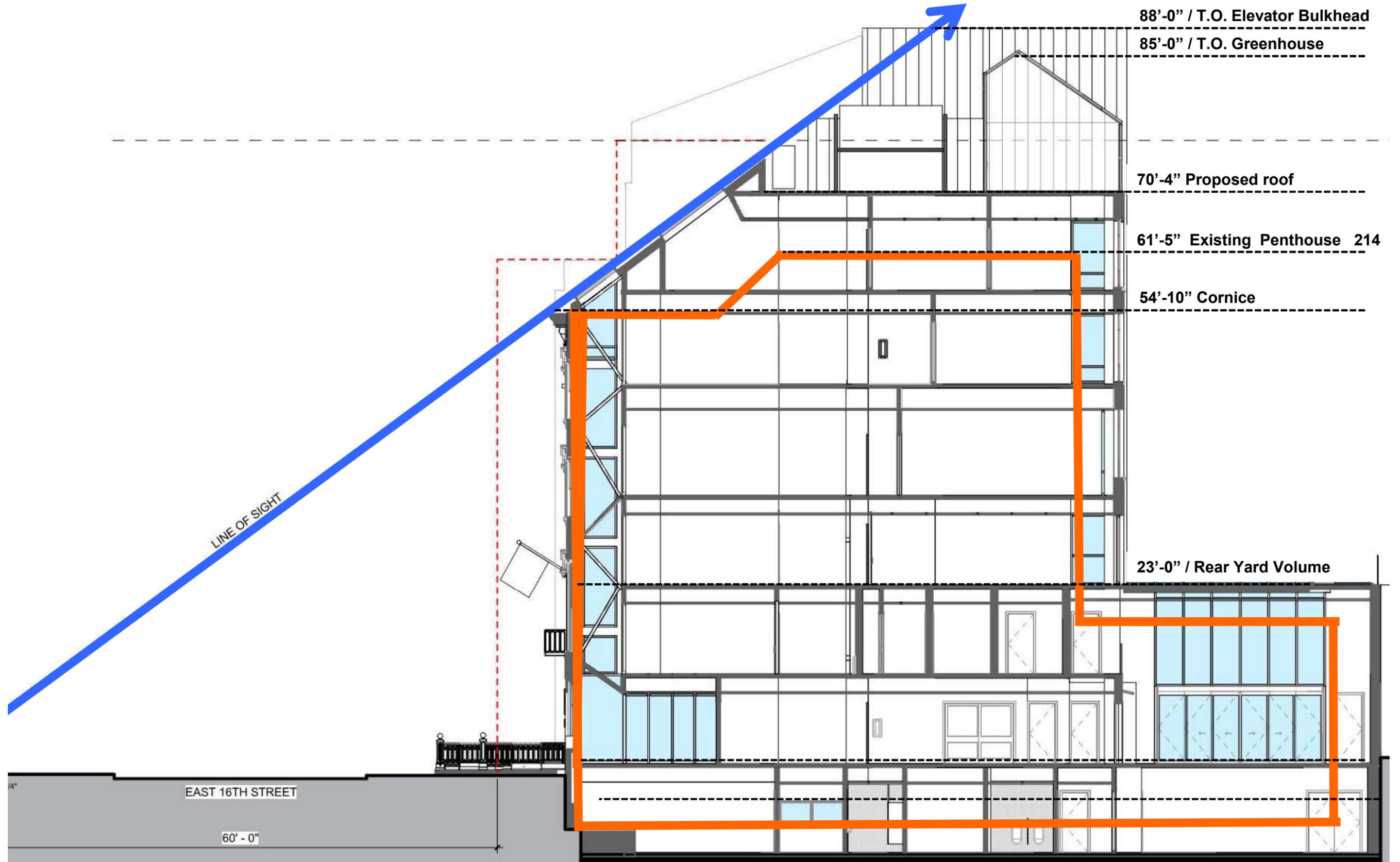


*Polygonatum commutatum*-  
Solomon's Seal

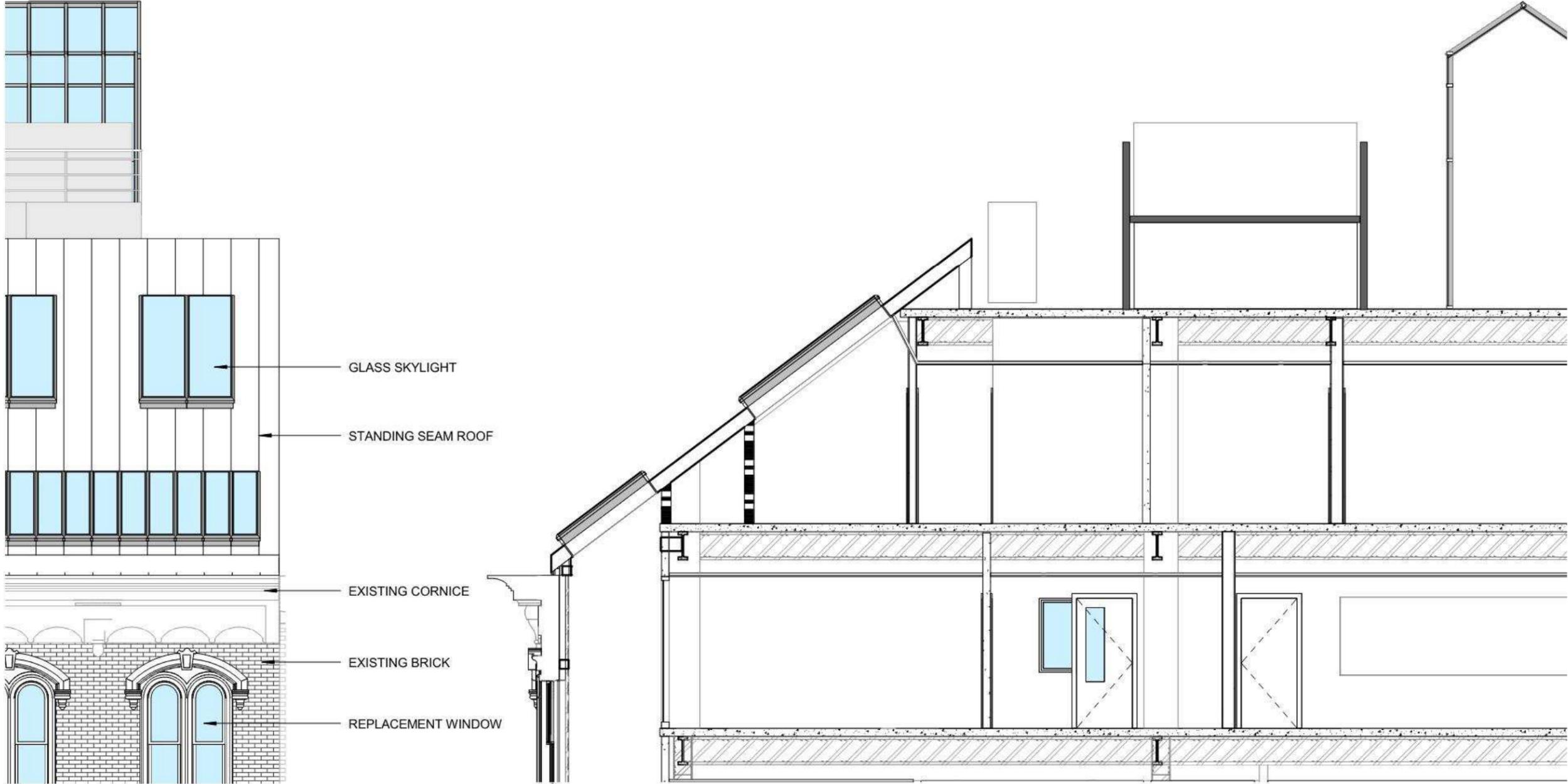


Sweet woodruff-  
*Galium odoratum*

# Proposed Section at Townhouses



# Skylight Details



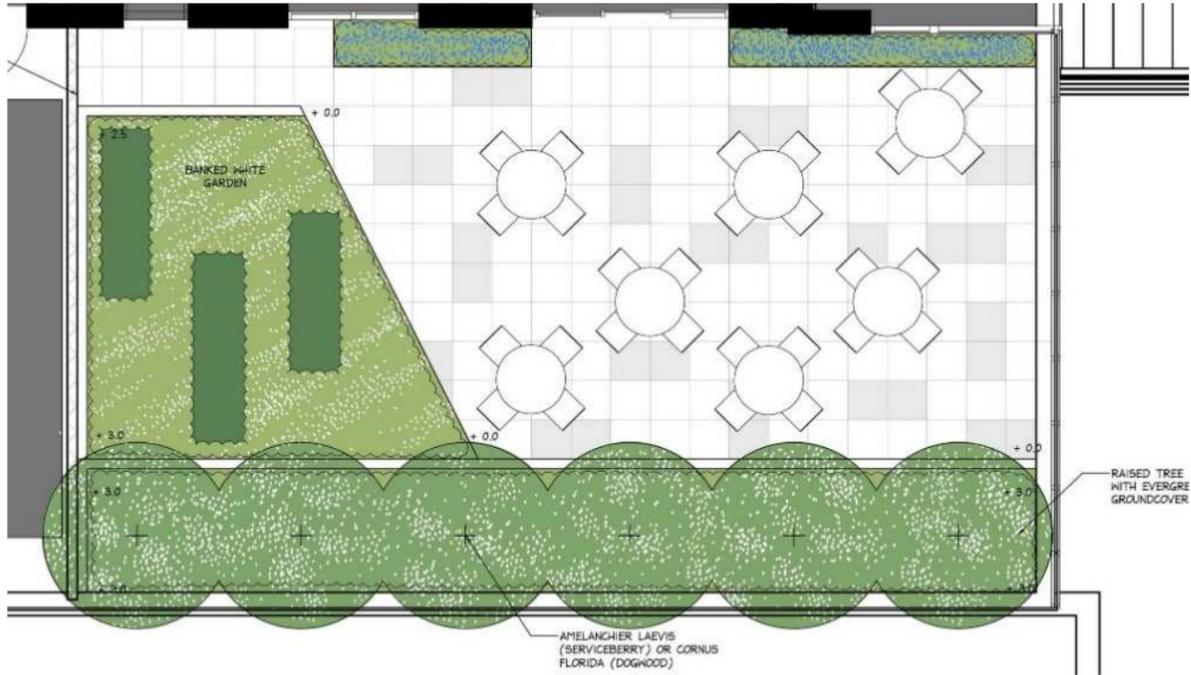
# Existing Courtyard Looking North



# Proposed Axonometric of Courtyard



# Proposed Peace Terrace



Dove Tree



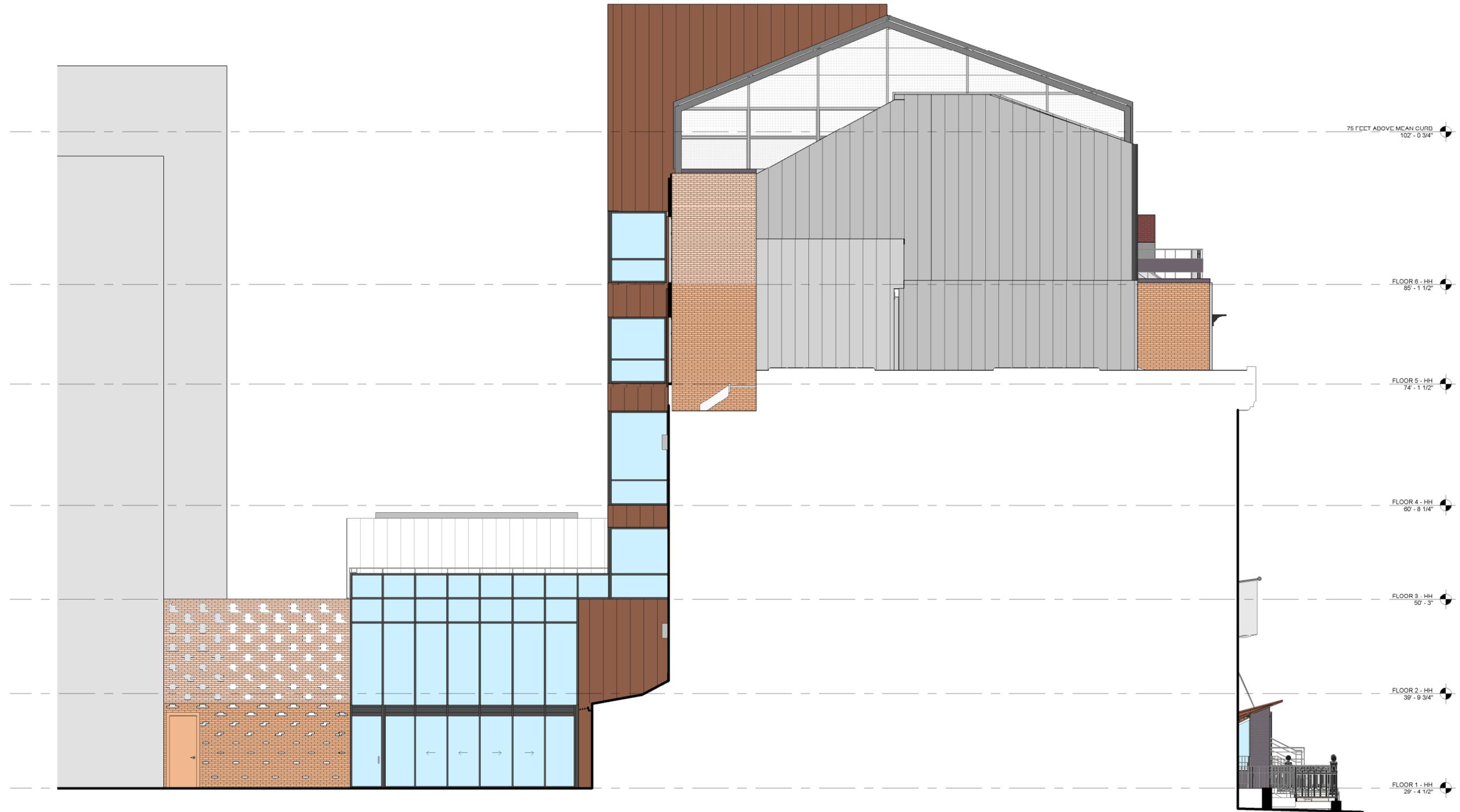
White Garden



# Courtyard Elevation North



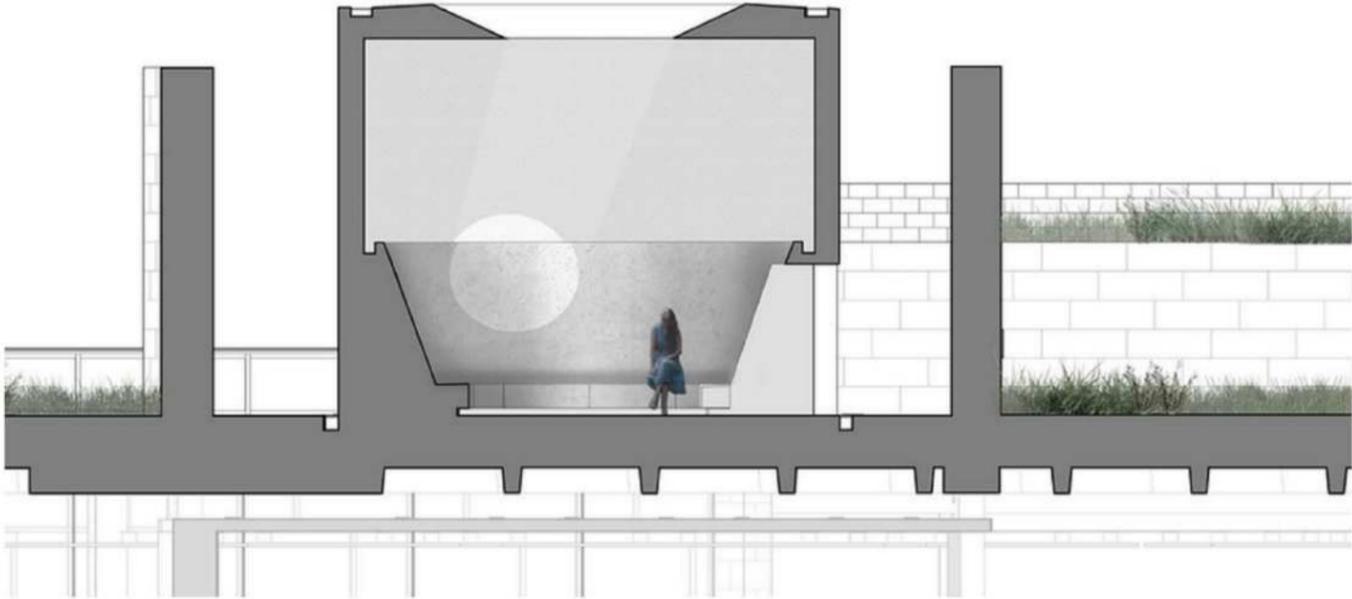
# Courtyard Elevation West



# Sky Space



JAMES TURRELL SKY SPACE AT STONESCAPE, NAPA VALLEY, CA



SECTION

# View from 16<sup>th</sup> Street



EXISTING



PROPOSED

# View from 16<sup>th</sup> Street



EXISTING



PROPOSED

# View from Stuyvesant Park



EXISTING



PROPOSED

# View from Stuyvesant Park



EXISTING



PROPOSED

# View from Stuyvesant Park



EXISTING



PROPOSED

# Courtyard



EXISTING



PROPOSED

# View from 15<sup>th</sup> Street



EXISTING



PROPOSED

# View of Sixteenth Street from Rutherford Place to Third Avenue

**Proposed**



**Existing**



# View of Rutherford Place

**Proposed**



**Existing**



# View of Courtyard

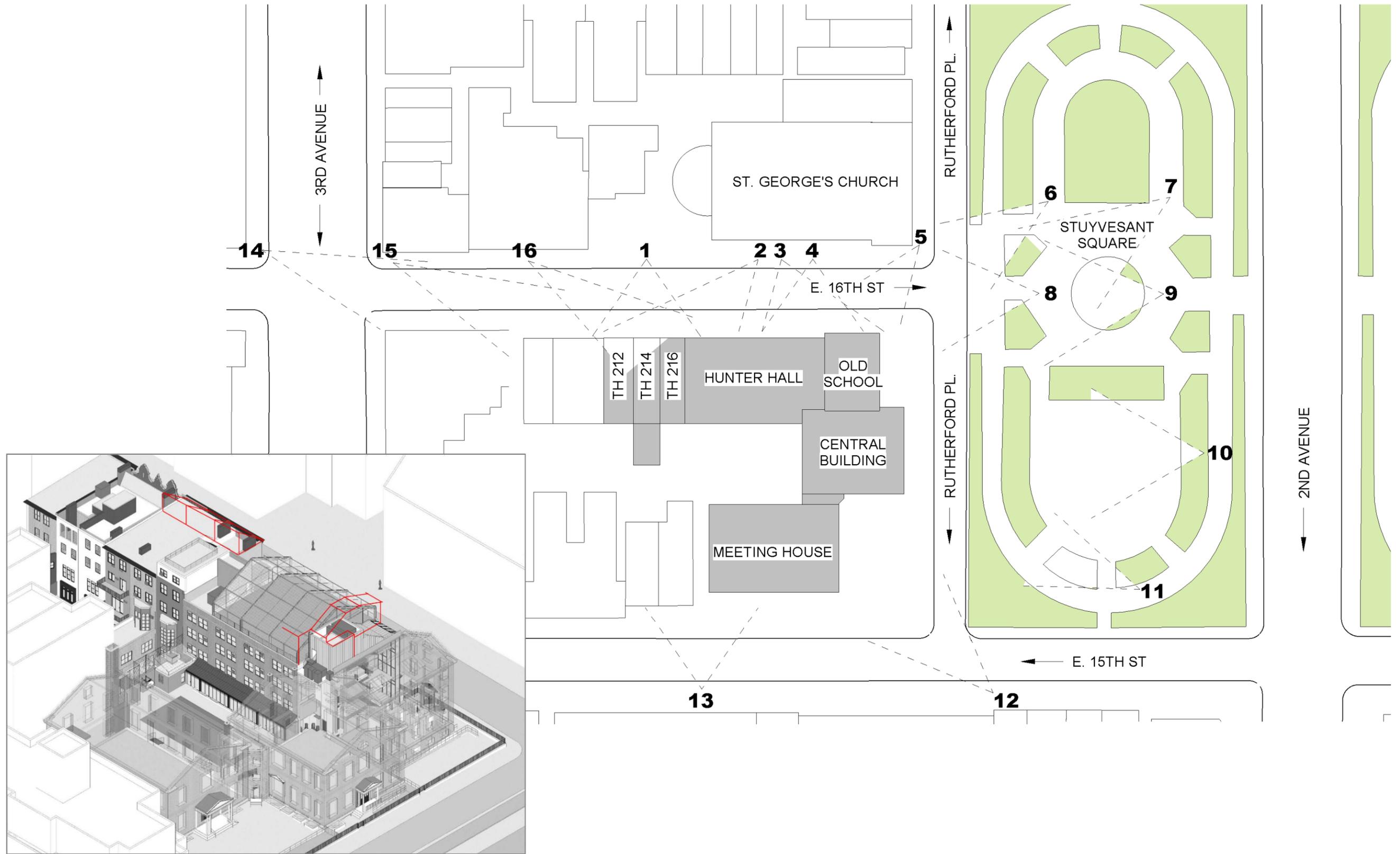
Proposed



Existing



# Mockup Street Views



# Mockup Street Views



# Mockup Street Views



# Mockup Street Views



# Mockup Street Views



13



14

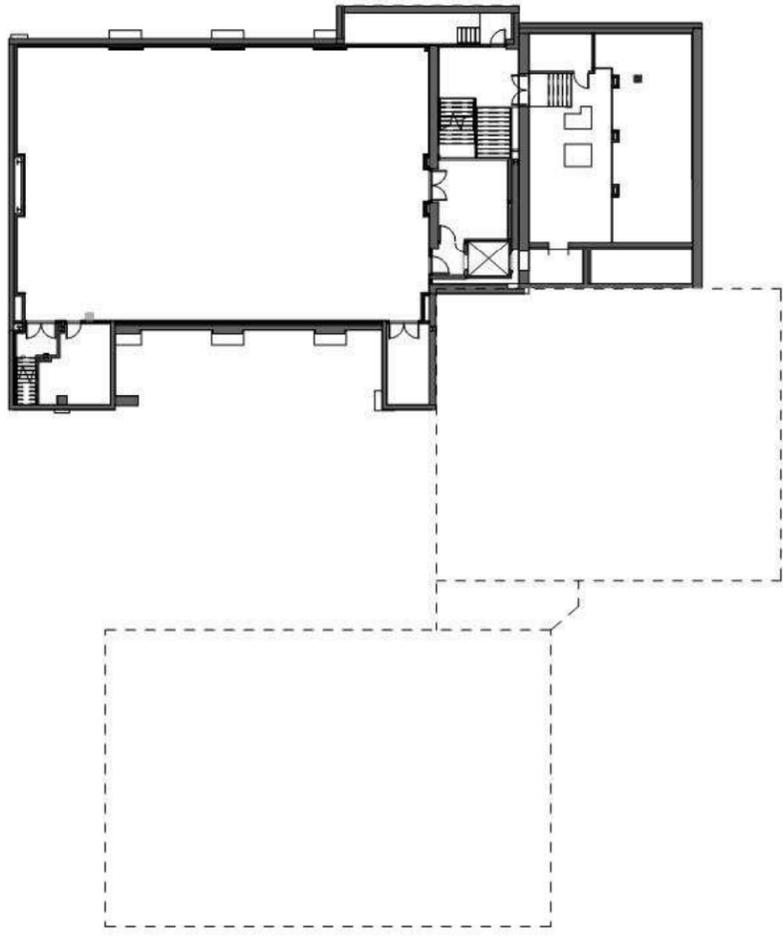


15

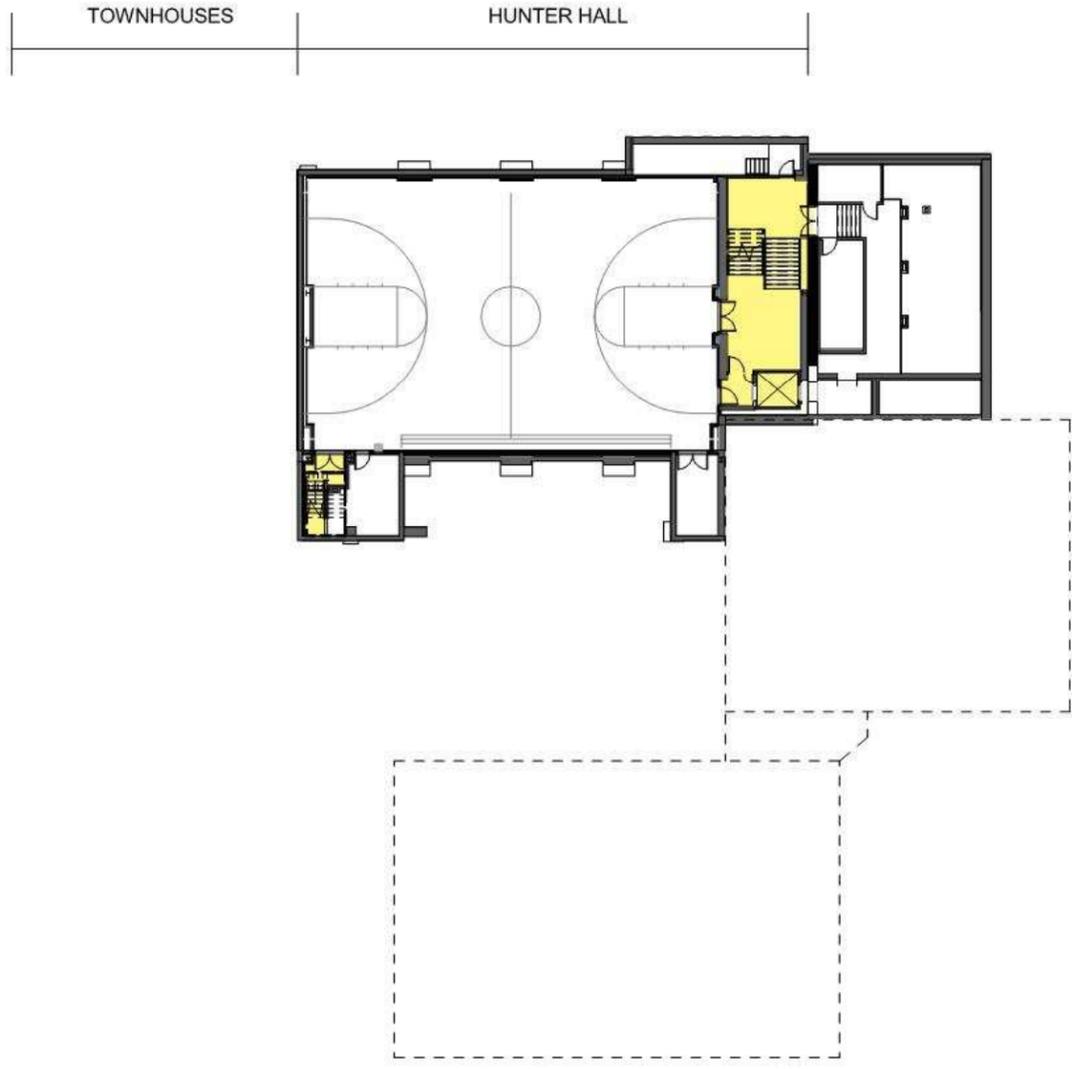


16

# Lower Level II Plan



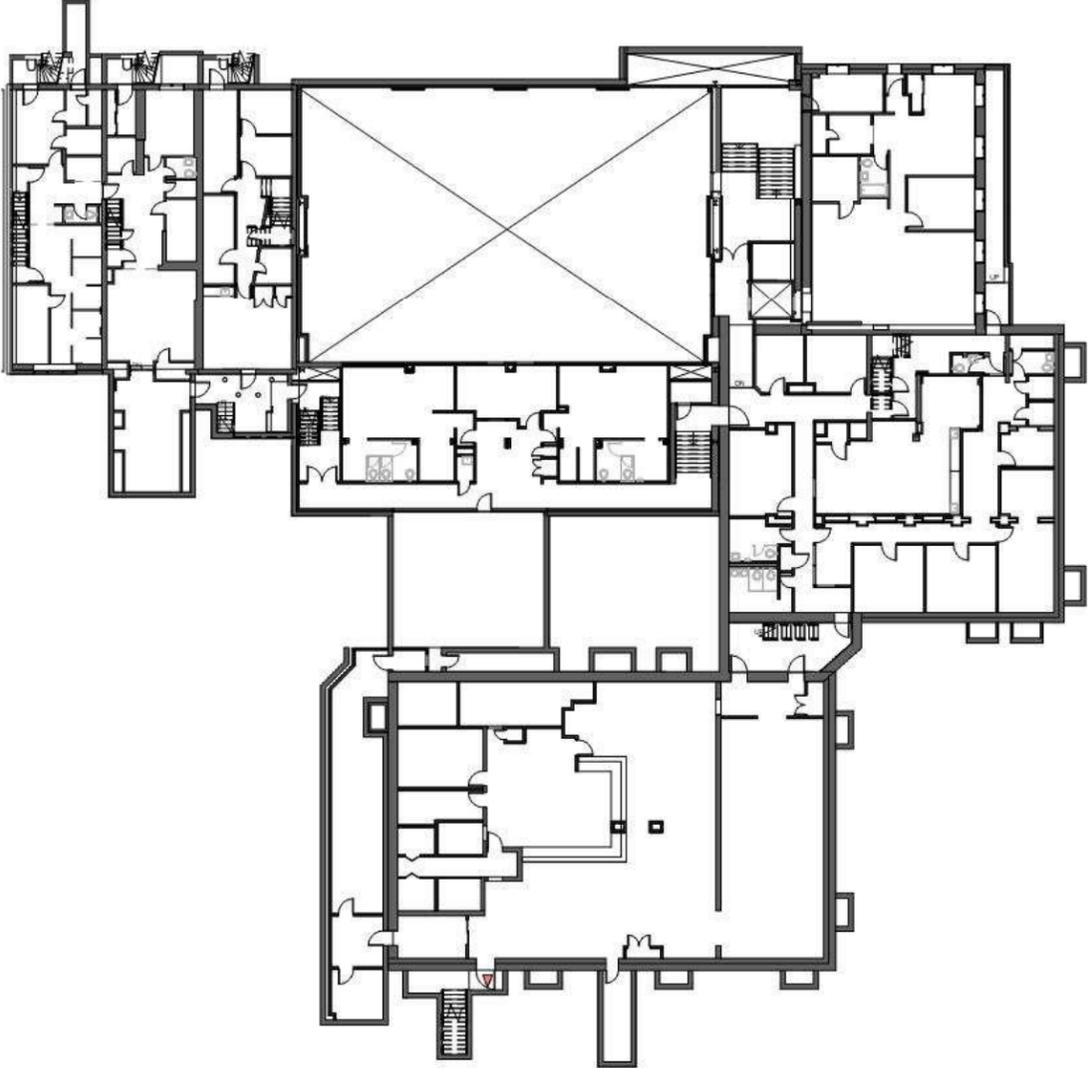
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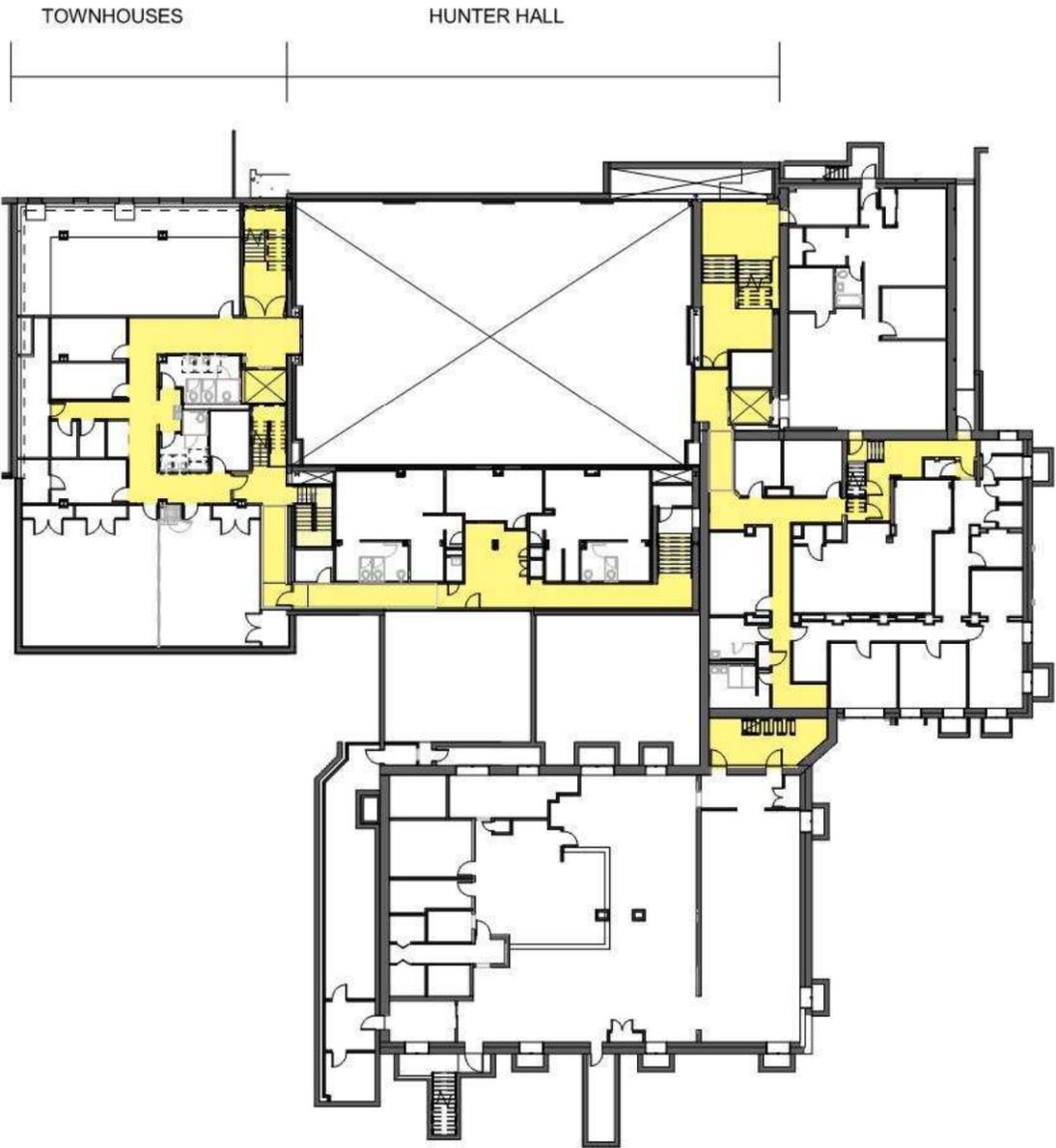
PROPOSED



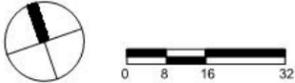
# Lower Level I Plan



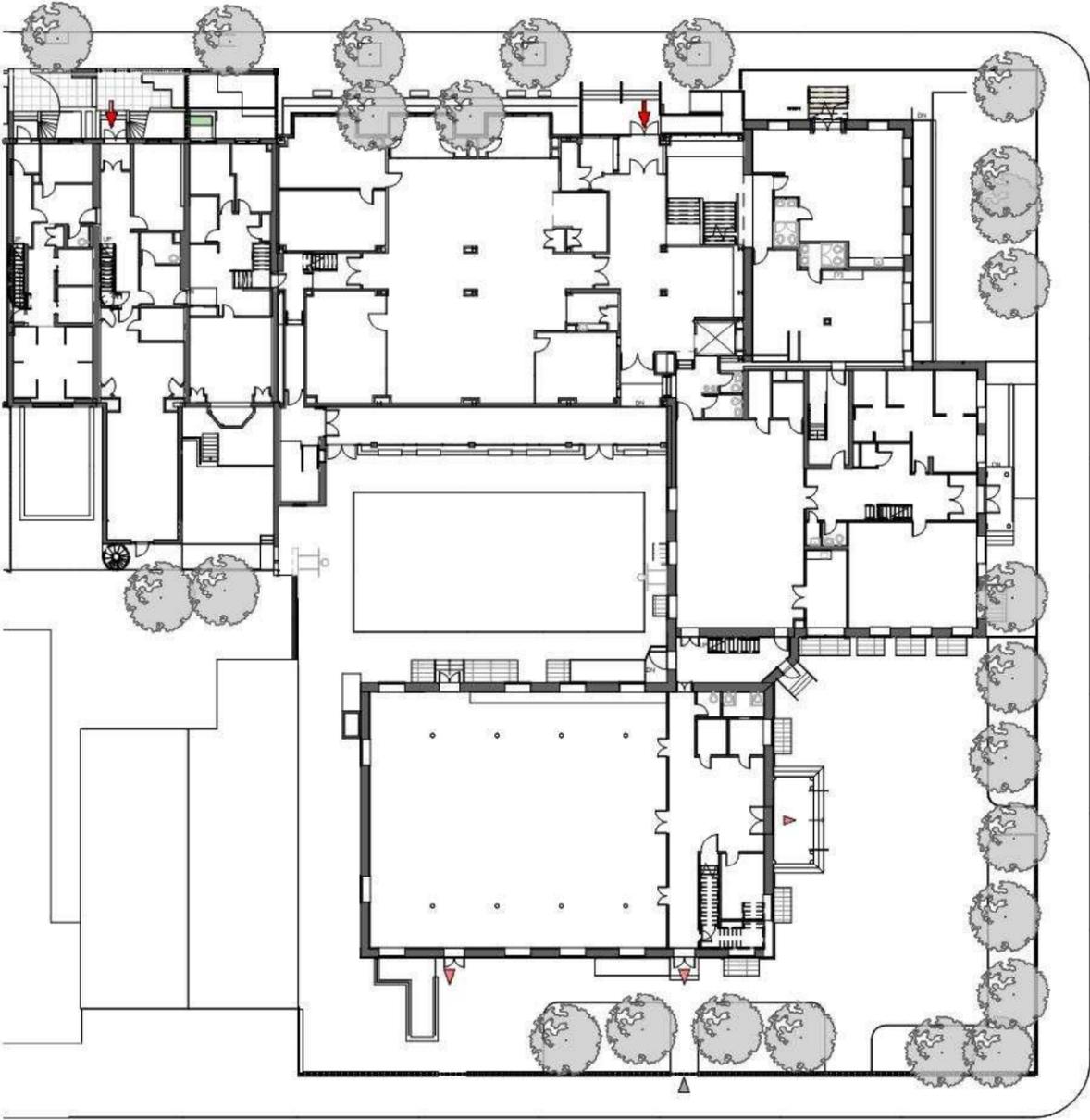
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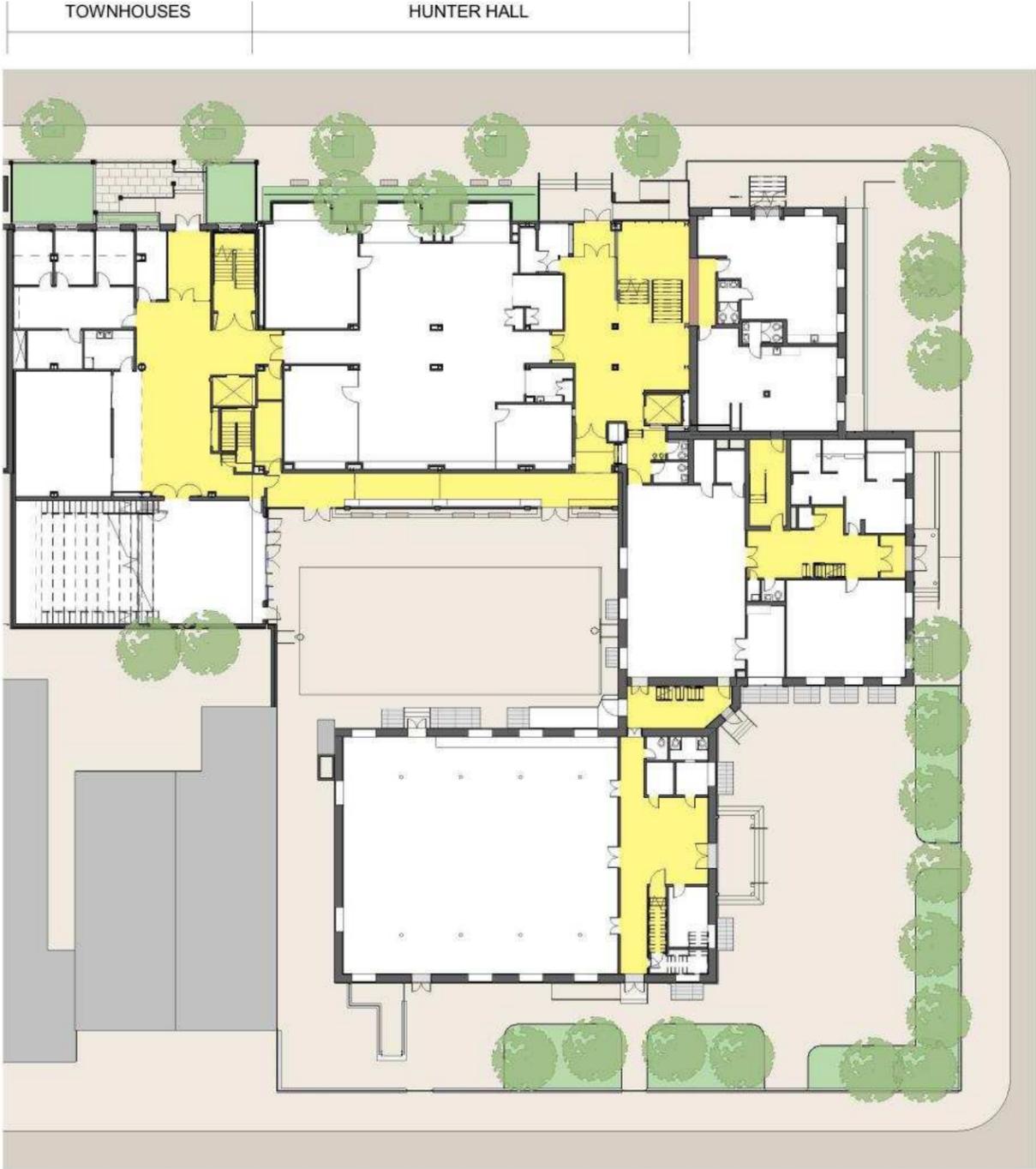
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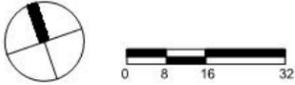
# First Floor Plan



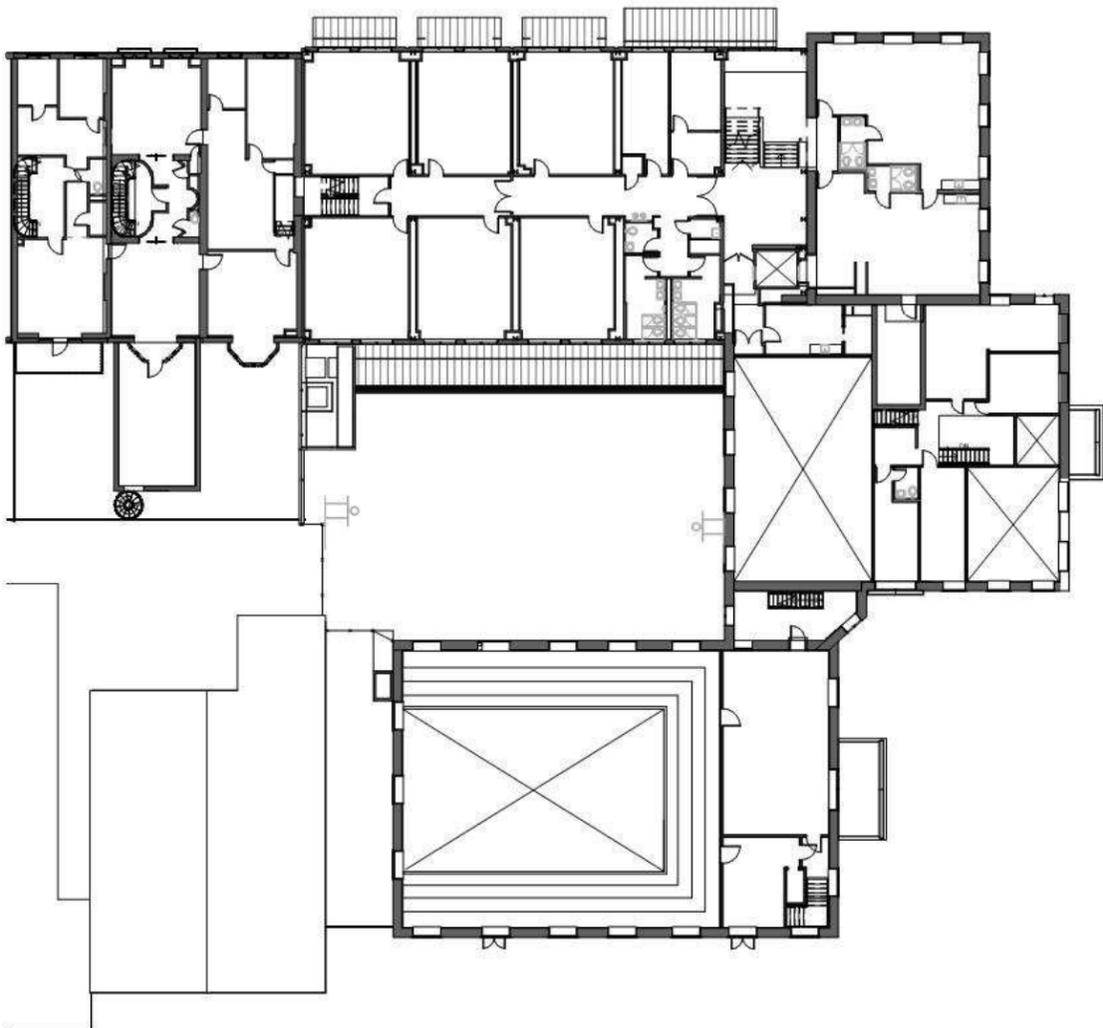
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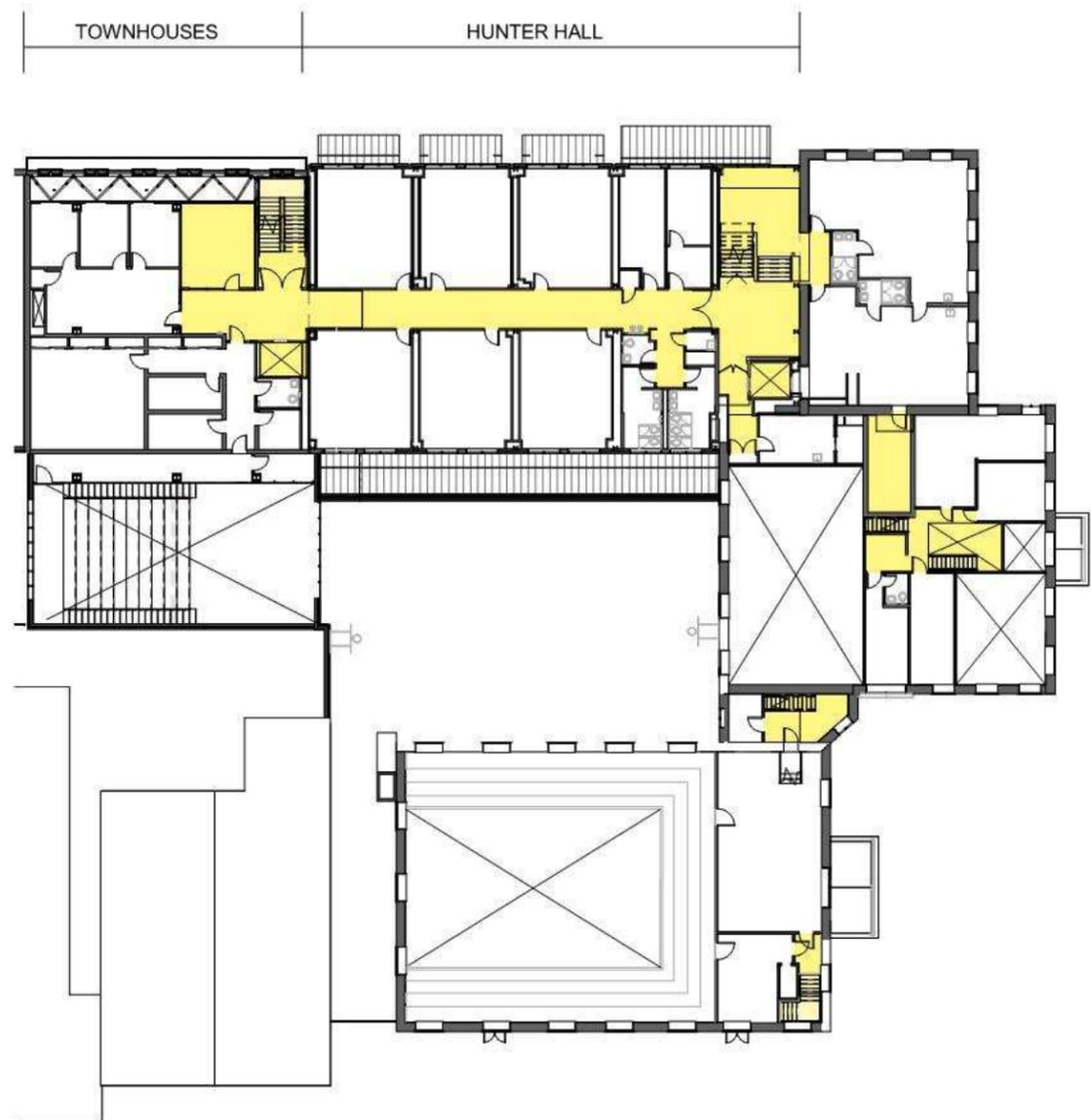
PROPOSED



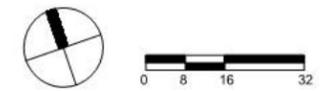
# Second Floor Plan



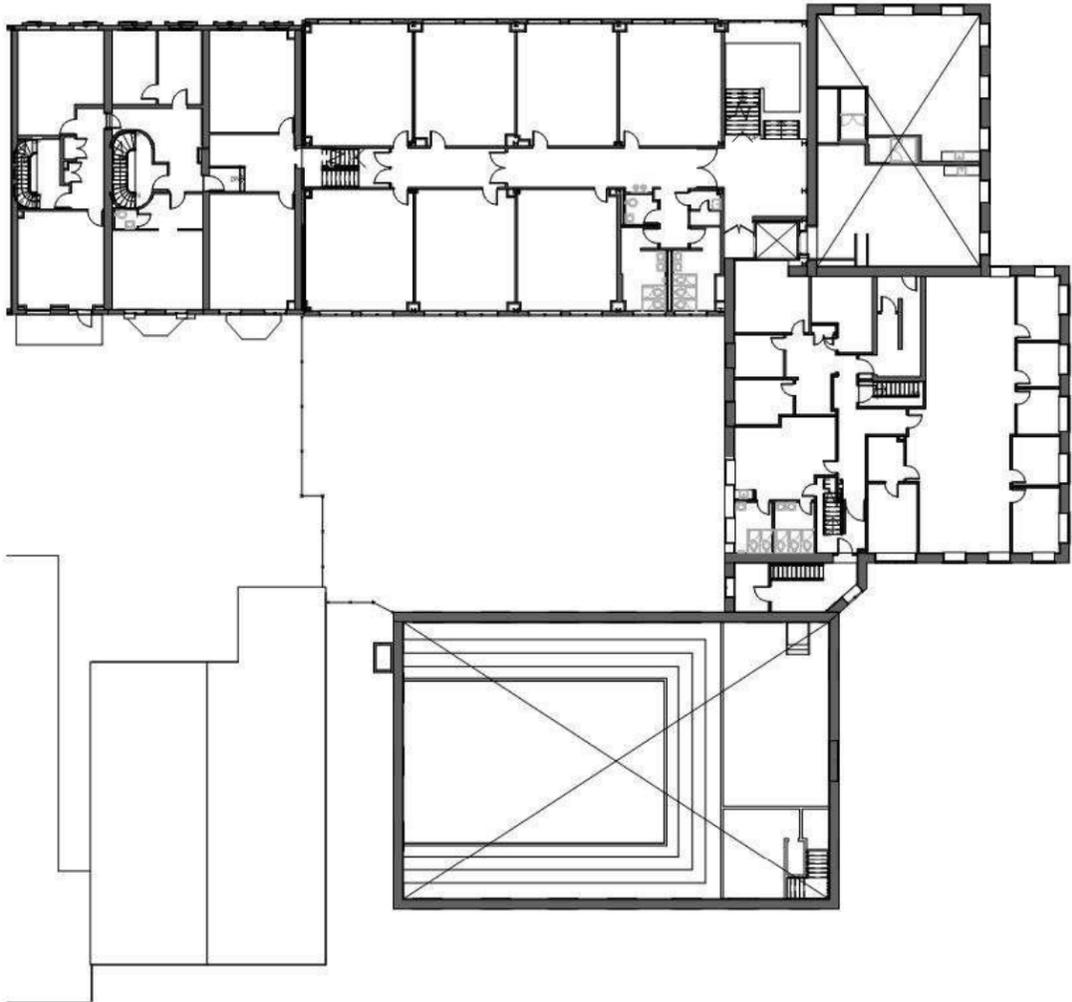
EXISTING



PROPOSED



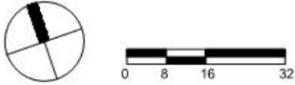
# Third Floor Plan



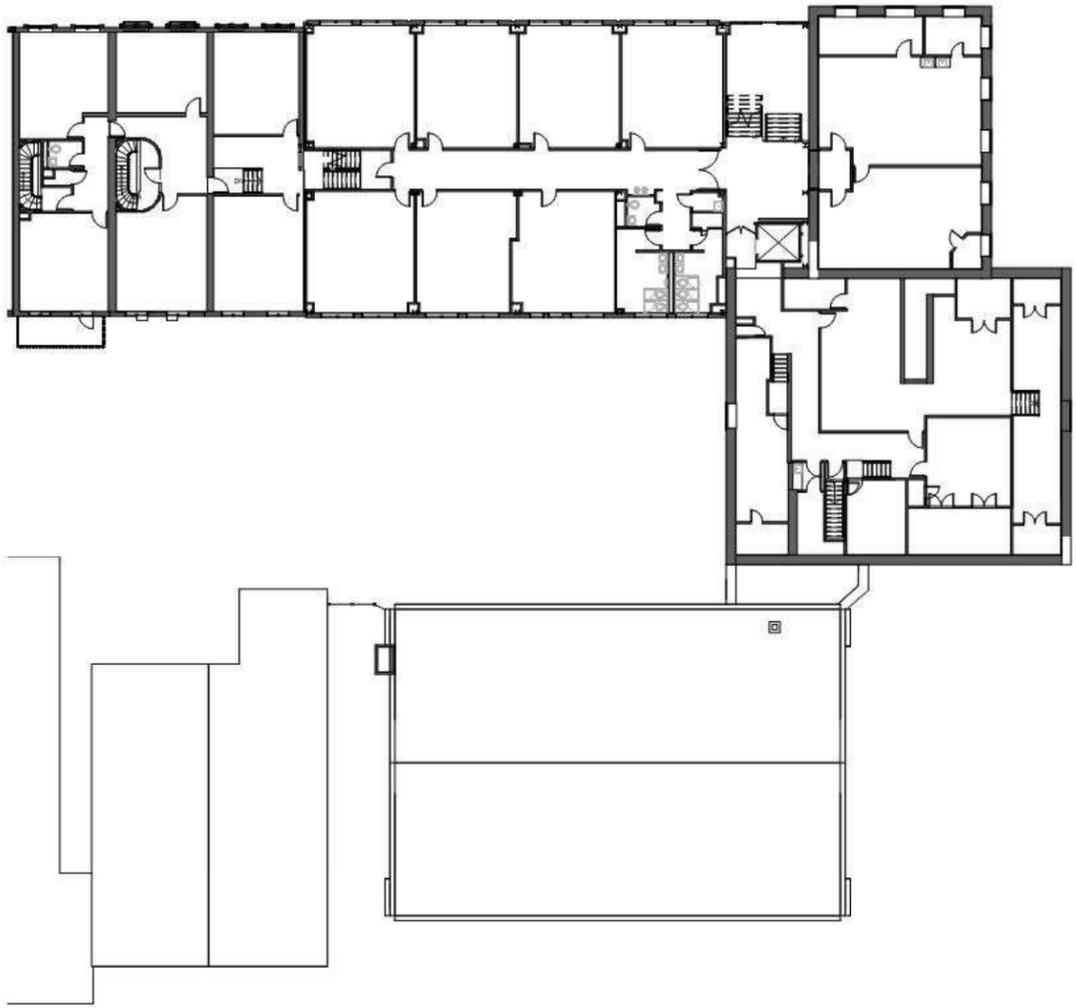
EXISTING



PROPOSED



# Fourth Floor Plan



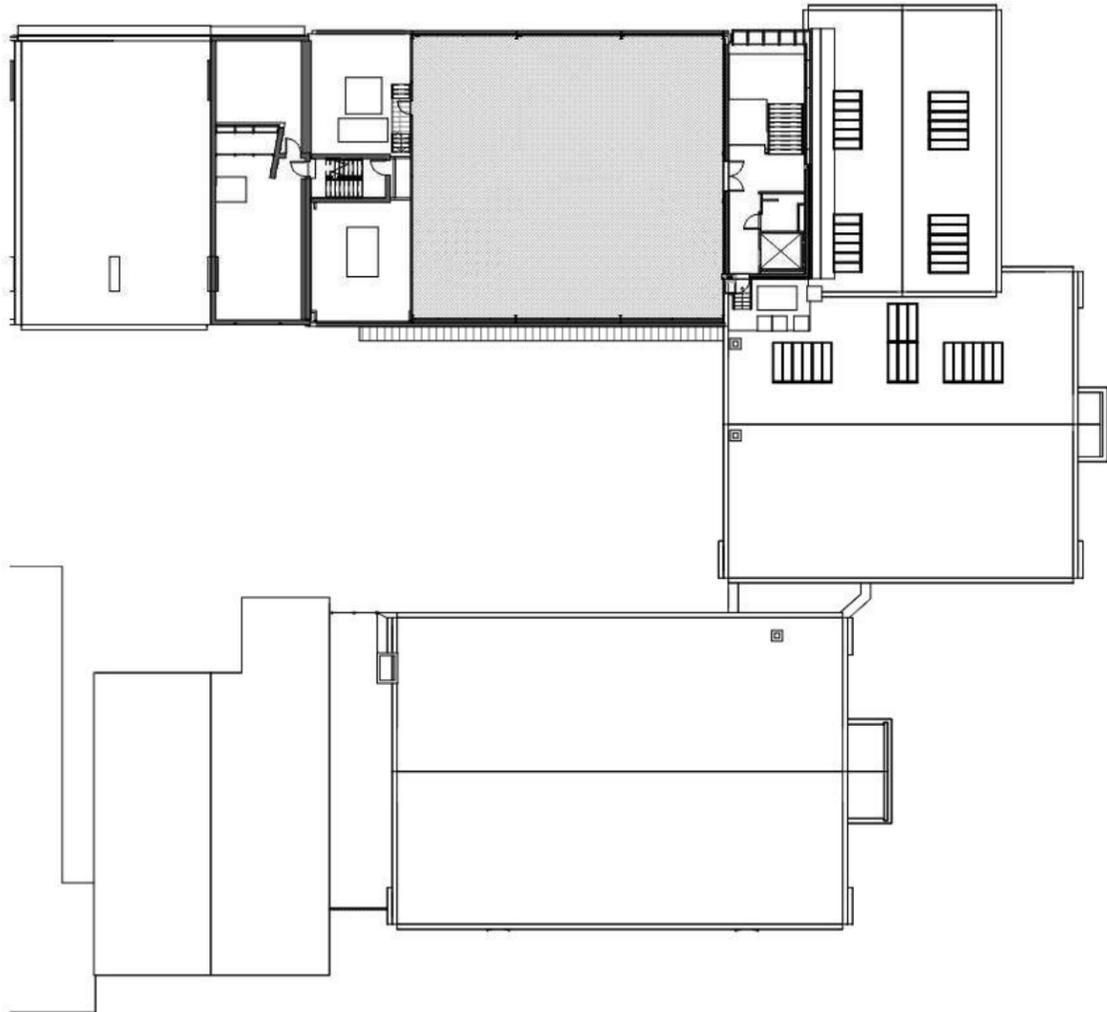
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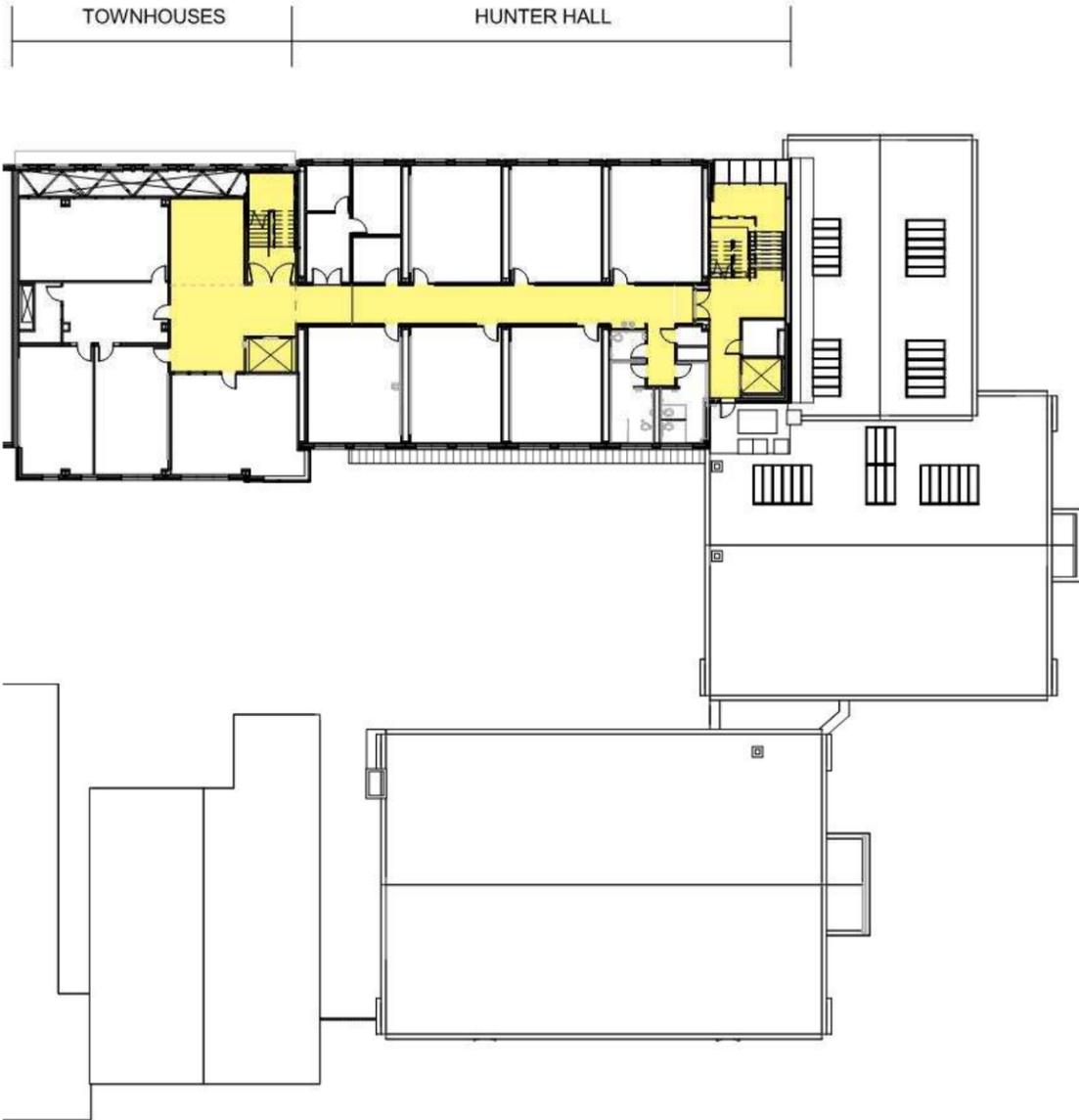
PROPOSED



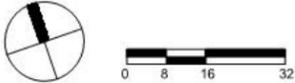
# Fifth Floor Plan



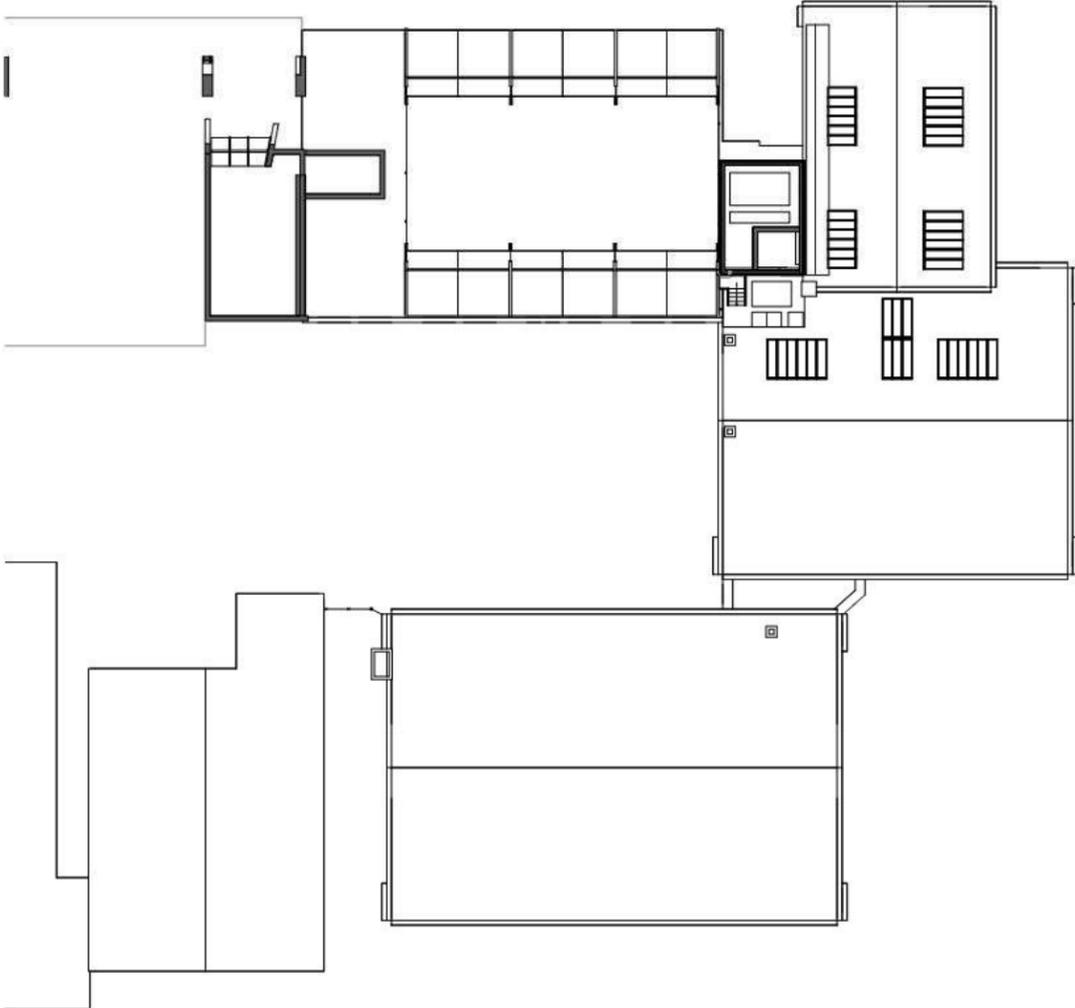
EXISTING



PROPOSED



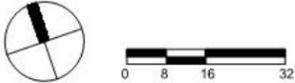
# Sixth Floor Plan



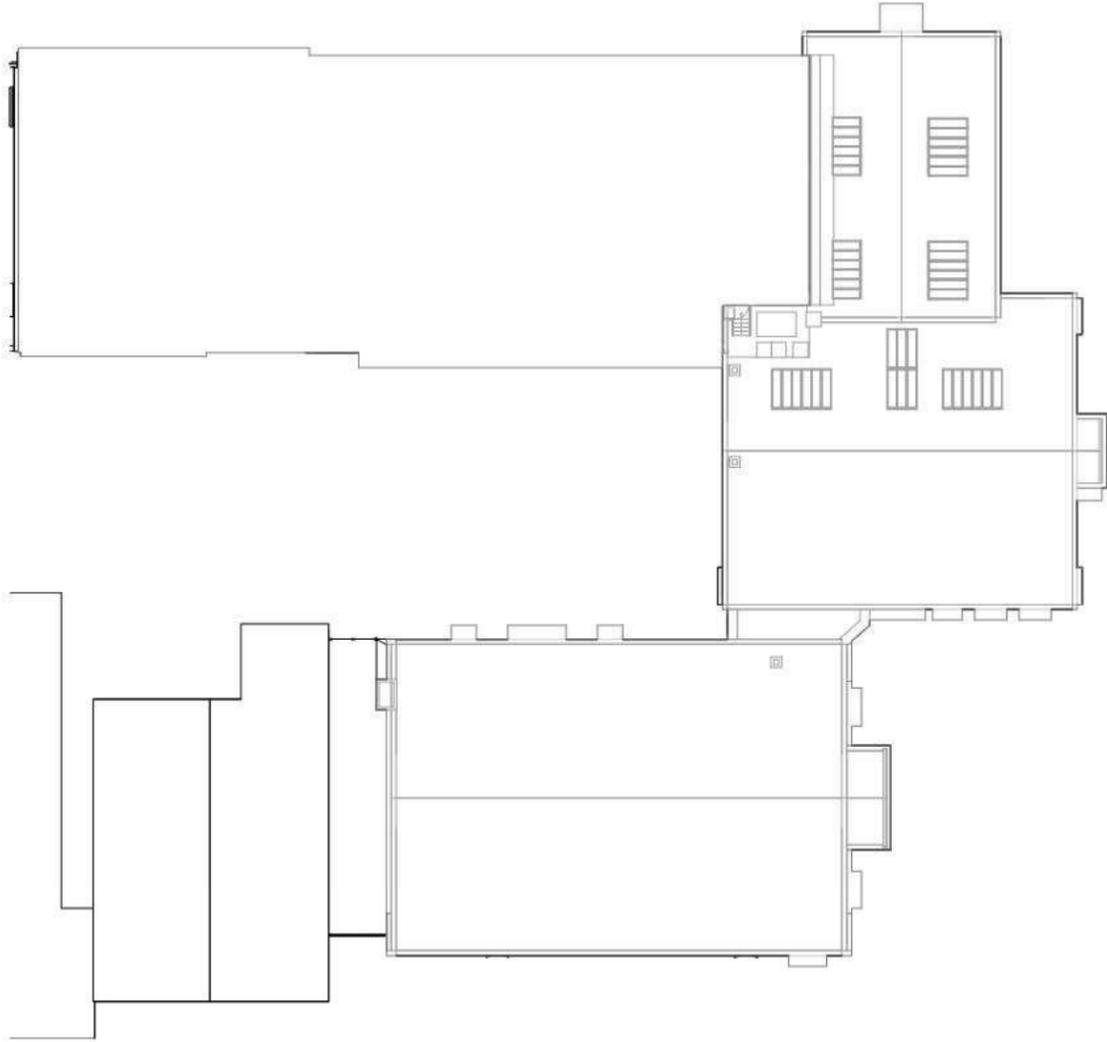
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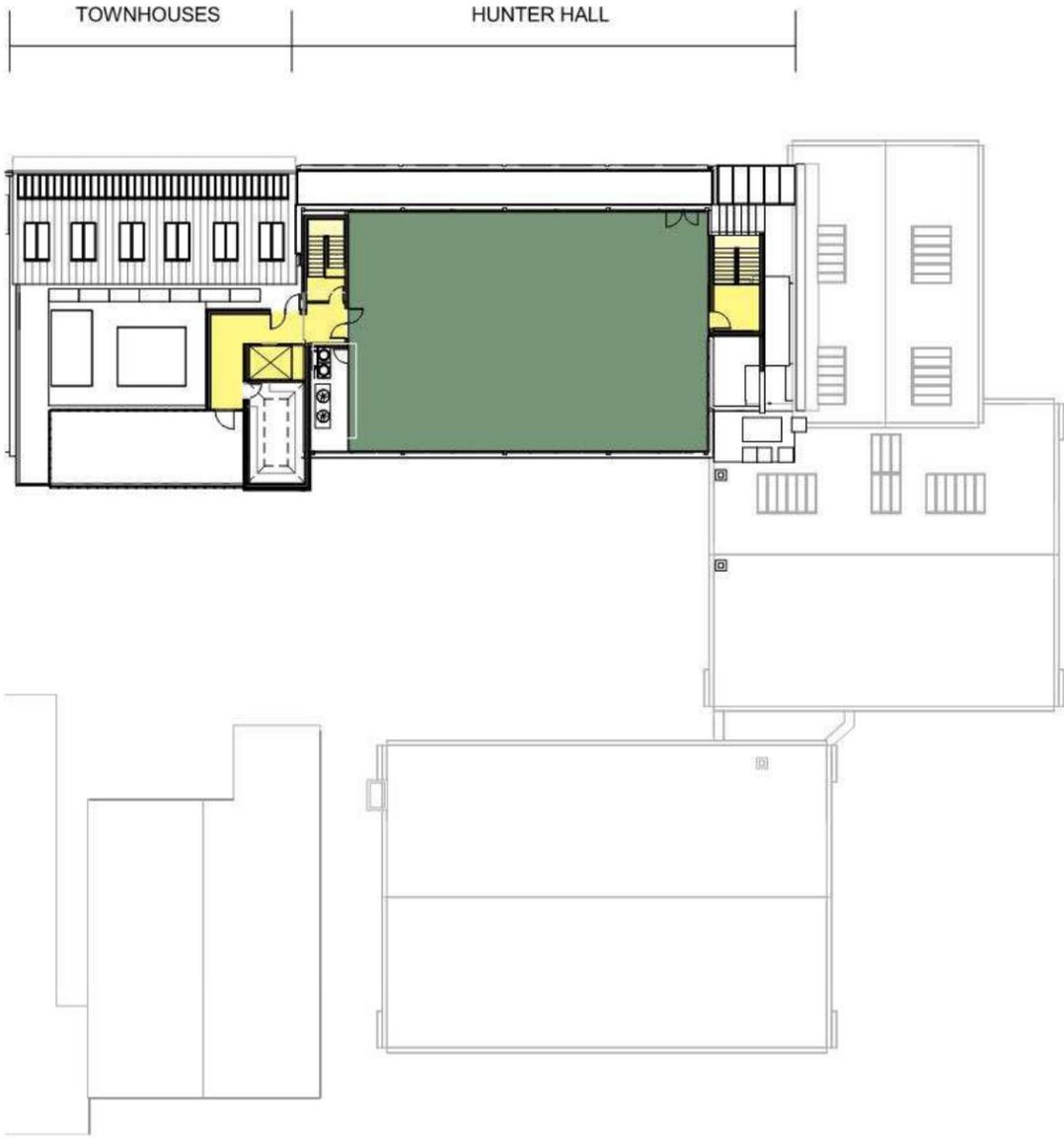
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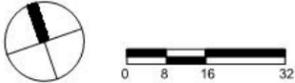
# Roof Floor Plan



EXISTING



PROPOSED



# Sketch of 16<sup>th</sup> Street Elevation

