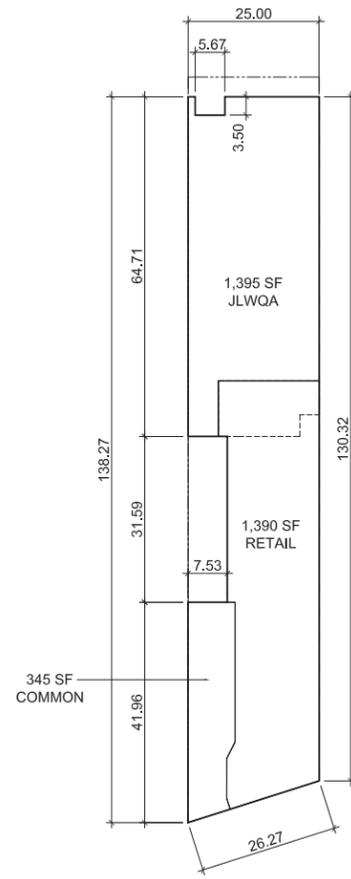
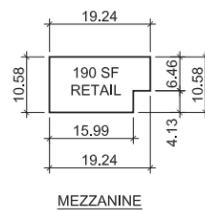


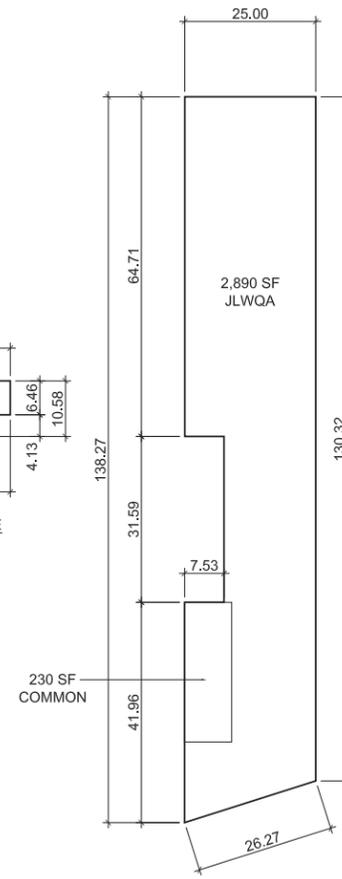
1 CELLAR PLAN
Z101 SCALE:



2 FIRST FLOOR PLAN
Z101 SCALE:



MEZZANINE



3 2ND - 6TH FLOOR PLAN
Z101 SCALE:

4. SUMMARY OF FLOOR AREA & USE

248 LAFAYETTE STREET NEW YORK, NY

FLOOR	USE		NET ZONING AREA		GROSS FLOOR AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CELLAR	UG 17	UG 6	0	0	3,485	3,485
GROUND	UG 17/17D	UG 6/17D	3,065	3,065	3,065	3,065
MEZZANINE	UG 17	UG 6	190	190	190	190
2ND FLOOR	UG 17D	UG 17D	3,120	3,120	3,120	3,120
3RD FLOOR	UG 17D	UG 17D	3,120	3,120	3,120	3,120
4TH FLOOR	UG 17D	UG 17D	3,120	3,120	3,120	3,120
5TH FLOOR	UG 17D	UG 17D	3,120	3,120	3,120	3,120
6TH FLOOR	UG 17D	UG 17D	3,120	3,120	3,120	3,120
TOTALS			18,855	18,855	22,340	22,340

5. ZONING ANALYSIS

ZONING ANALYSIS					
LOT INFORMATION					
ADDRESS:	248 LAFAYETTE STREET, NEW YORK, NY				
BLOCK:	496				
LOTS:	5				
LOT AREA:	3,450				
EXIST. FLOOR AREA:	18,855				
ZONING DISTRICT:	M1-5B				
ZONING MAPS:	12c				
APPLICABILITY:	74-711 LANDMARK PRESERVATION IN ALL DISTRICTS				
ZONING RESOLUTION	ITEM	PERMITTED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
I. USE REGULATIONS					
42-10 USES PERMITTED AS-OF-RIGHT			FLOORS CELLAR & 1ST UG 17 - WHOLESALE FLOORS 1ST THRU 6TH UG 17D - JMWQA	FLOORS CELLAR & 1ST UG 6 - RETAIL FLOORS 1ST THRU 6TH UG 17D - JMWQA	NO (SPECIAL PERMIT APPLICATION PER 74-711)
42-14 USES PERMITTED IN USE GROUP 17 - WHOLESALE				FLOORS CELLAR & 1ST UG 6 - RETAIL	NO (SPECIAL PERMIT APPLICATION PER 74-711)
II. BULK REGULATIONS					
43-12	MAXIMUM ALLOWABLE FAR	5.0 x 3,450 = 17250	5.47 x 3,450 = 18,885	5.47 x 3,450 = 18,885	YES*
			* PER 54-31 DEGREE OF EXISTING NON-COMPLIANCE IS NOT BEING INCREASED		
	PROPOSED RETAIL UG 6 FLOOR AREA	CELLAR (NOT ZONING AREA)		(2,270 S.F.)	
	PROPOSED RETAIL UG 6 FLOOR AREA	GROUND FLOOR		1,390	
	EXISTING JMWQA UG 17D FLOOR AREA	FLOORS 1 THRU 6	17,300 S.F.		
15-12	OPEN SPACE EQUIVALENT	30% OF GROSS FLOOR AREA FOR 15 UNITS OR MORE	6 UNITS EXISTING		NOT APPLICABLE
15-111	MAX. NUMBER OF DWELLING UNITS	17,300/ 740 = 23 UNITS	6 UNITS EXISTING		YES
43-28	REAR YARDS				
	Special Provisions for Through Lots	(a) an open area with a minimum #lot depth# of 40 feet midway (or within five feet of being midway) between the two #street lines# upon which such #through lot# fronts; (b) two open areas, each adjoining and extending along the full length of the #street line#, and each with a minimum depth of 20 feet measured from such #street line#; or (c) an open area adjoining and extending along the full length of each #side lot line#, with a minimum width			
		* PER 54-31 DEGREE OF EXISTING NON-COMPLIANCE IS NOT BEING INCREASED			YES*
43-43	MAXIMUM BASE HEIGHT	85 FEET	77 FEET	77 FEET	YES
	MAXIMUM BUILDING HEIGHT	N/A	77 FEET	77 FEET	YES
43-43	REQUIRED SETBACK ABOVE BASE				
	LAFAYETTE STREET SIDE	15' WIDE STREET	0 FEET	0 FEET	YES*
	CROSBY STREET SIDE	20' NARROW STREET	0 FEET	0 FEET	YES*
	SKY EXPOSURE PLANE	2.7:1	0 FEET	WITHIN SKY EXPOSURE	YES
		* PER 54-31 DEGREE OF EXISTING NON-COMPLIANCE IS NOT BEING INCREASED			
IV. PARKING AND LOADING REGULATIONS					
44-022 / 13-41	REQUIRED ACCESSORY PARKING	NONE REQUIRED		NONE PROVIDED	YES

7/25/2014	DATE	1	NO.	LPC PROJECT REVIEW	REVISION DESCRIPTION
LPC SUBMISSION 08/5/2015 CITY PLANNING SUBMISSION 05/12/2015 PROJECT LOCATION 248 Lafayette Street NEW YORK, NY					
AMOIA CODY ARCHITECTURE 507 VANDERBILT AVE BROOKLYN NY 11238 P 631.355.1328 F 631.614.4356 info@amoiacody.com					
DRAWN BY: RG CHECKED BY: AA/RC SCALE: AS NOTED DATE: 07/25/2014					
TITLE: ZONING DIAGRAMS					
SHEET NO. Z101.00					

87 CROSBY (AKA LAFAYETTE STREET)
 DATE OF CONSTRUCTION 1900
 ARCHITECT: C ABBOTT FRENCH
 STYLE: RENAISSANCE REVIVAL
 STORIES: 6

ARCHITECT C. ABBOTT FRENCH ALSO DESIGNED
 13-17 CROSBY STREET.

HISTORICAL TAX LOT PHOTOS :

- 1 13-17 CROSBY ST,
- 2 CROSBY ST: AKA 248 LAFAYETTE (LEFT) ,
- 3 CROSBY ST: AKA 246 LAFAYETTE,
- 4 87 CROSBY ST,
- 5 250 LAFAYETTE ST,
- 6 246 LAFAYETTE ST,
- 7 248 LAFAYETTE ST

5



6



7



1



2



3



4

NO.	DATE	REVISION DESCRIPTION
1	7/25/2014	LPC PROJECT REVIEW

LPC SUBMISSION 08/5/2015
 CITY PLANNING
 SUBMISSION 05/12/2015
 PROJECT LOCATION
248 Lafayette Street
 NEW YORK, NY

AMOIA CODY ARCHITECTURE
 507 VANDERBILT AVE
 BROOKLYN NY 11238
 P 631.355.1328
 F 631.614.4356
 info@amoiacody.com

DRAWN BY: RG
 CHECKED BY: AA/RC
 SCALE: AS NOTED
 DATE: 07/25/2014

REGISTERED ARCHITECT
 ROBERT CODY
 STATE OF NEW YORK
 029903

TITLE:
TAX PHOTOS

SHEET NO.
L001.00

ISSUE BELOW



1



2



3



6



4



5

LAFAYETTE ST PHOTOS :
 1 WHOLE FACADE, 2 LOOKING NORTH, 3 LOOKING SOUTH, 4 TOP, 5 DETAIL STOREFRONT WINDOW, 6 LOOKING STOREFRONT SOUTH BASE

NO.	DATE	LPC PROJECT REVIEW	REVISION DESCRIPTION
1	7/25/2014		

LPC SUBMISSION 08/5/2015
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 PROJECT LOCATION
248 Lafayette Street
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AMOIA CODY ARCHITECTURE
 507 VANDERBILT AVE
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 P 631.355.1328
 F 631.614.4356
 info@amoiacody.com

DRAWN BY: RG
 CHECKED BY: AA/RC
 SCALE: AS NOTED
 DATE: 10/25/2014

TITLE:
248 LAFAYETTE ST PHOTOS
 SHEET NO.
L002.00

BSICAN BELOW

1



2



3



4



11

10



5



6



7



8

9

CROSBY ST PHOTOS :

1 TAX LOT PHOTO LOOKING NORTH, 2 LOOKING NORTH, 3 LOOKING SOUTH, 4 TOP, 5 FACADE, 6 LOOKING SOUTH, 7 LOOKING NORTH, 8 STOREFRONT STEPS DOWN, 9 DETAIL NORTH, 10 DETAIL ", 11 DETAIL SOUTH

NO.	DATE	REVISION DESCRIPTION
1	7/25/2014	LPC PROJECT REVIEW

LPC SUBMISSION 08/5/2015
CITY PLANNING SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

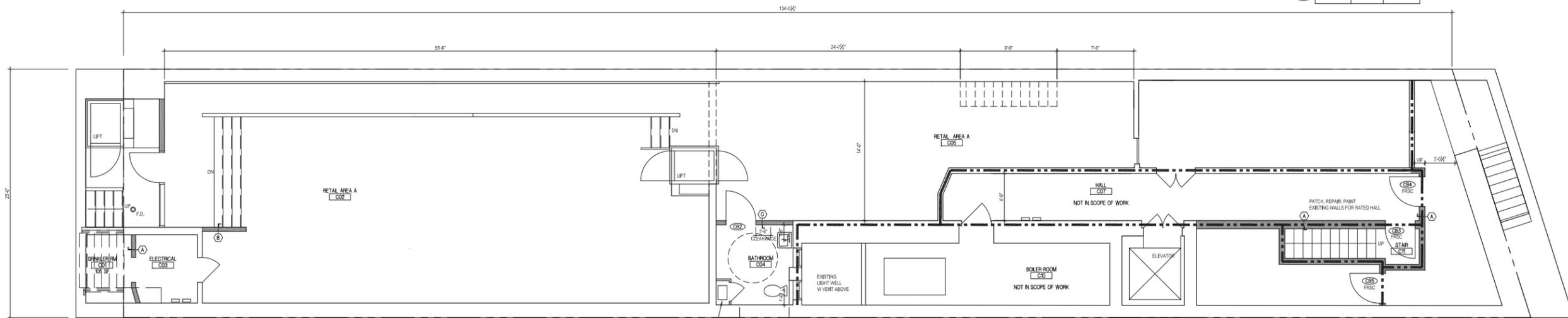
AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
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info@amoiacody.com

DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 10/25/2014

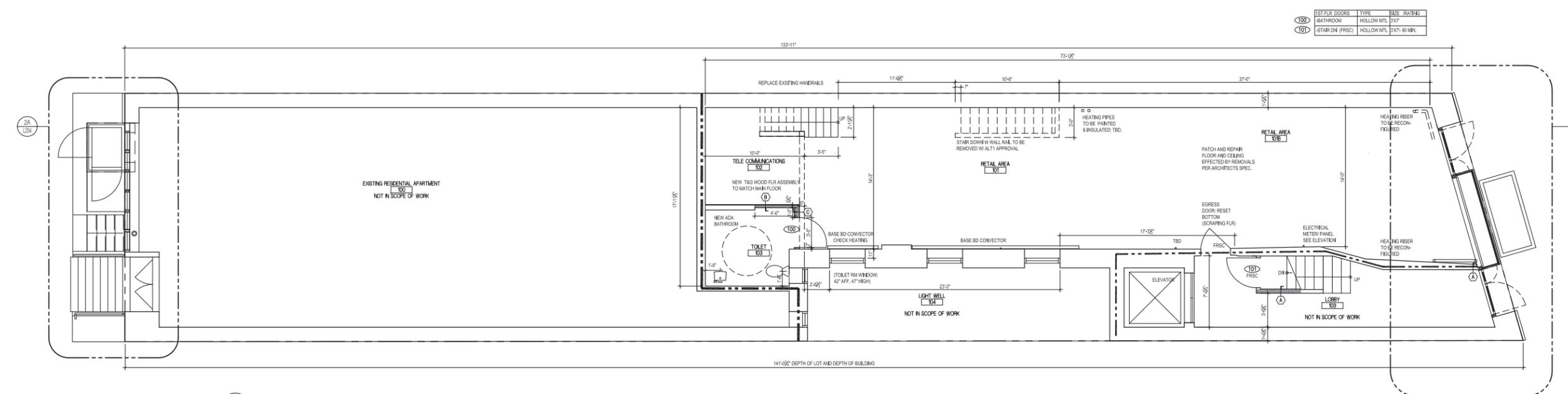
REGISTERED ARCHITECT
ROBERT CODY
STATE OF NEW YORK
029903

TITLE:
87 CROSBY ST PHOTOS

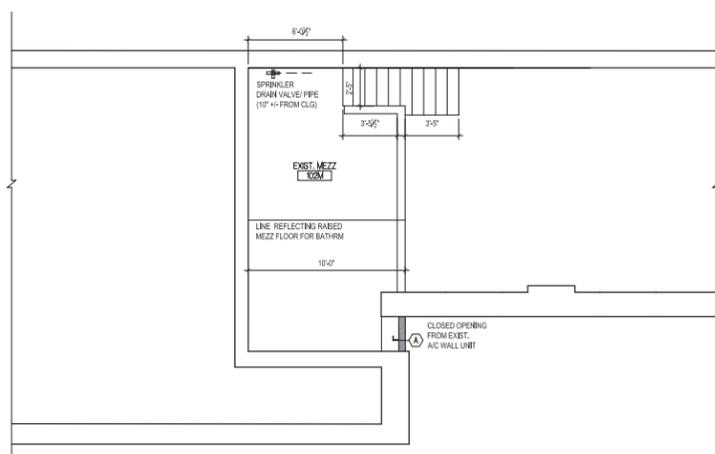
SHEET NO.
L003.00



03 CELLAR
SCALE: 1/4"=1'-0"



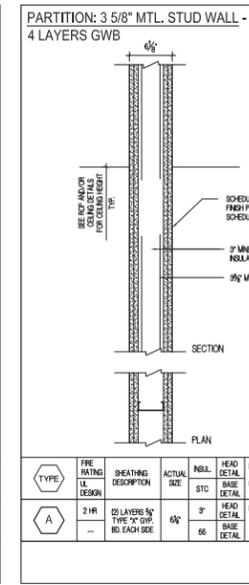
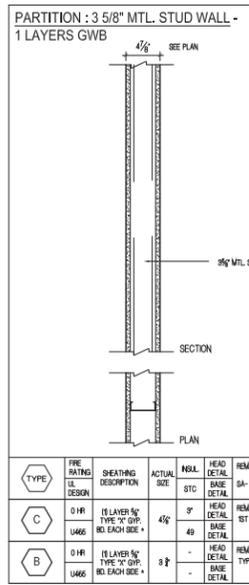
01 FIRST FLOOR
SCALE: 1/4"=1'-0"



02 SECOND LEVEL (STORAGE LOFT)
SCALE: 1/4"=1'-0"

GENERAL NOTES FOR PARTITIONS:

- ALL PARTITIONS TO BE CONSTRUCTED PER RECENT CODE.
- FRESHSTOPPING SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDED METHODS FOR THE REQUIRED FIRE RATING OF WALL ASSEMBLY. SEE SPECIFICATIONS ASTM INDUSTRY STANDARDS FOR SPECIFIC DETAIL REQUIREMENTS AT PARTITION INTERSECTION WITH FLOOR AND CEILING CONSTRUCTION.
- ALTERNATE METHODS OF FRESHSTOPPING MUST CONFORM TO U.L.
- FIRE RATING INDICATED IS MINIMUM REQUIREMENT. PARTITION EXCEEDS MINIMUM.
- FIRE RATING FOR CMU BASED ON ASTM C-119 AND EQUIVALENT SOLID THICKNESS METHOD DESCRIBED BY THE NATIONAL CONCRETE MASONRY ASSOC. NO VALUE HAS BEEN GIVEN TO CMU, CONCRETE PARTITIONS. CMU RATING REQUIREMENTS GOVERN. SEE SPECIFICATIONS FOR STEEL FRESHSTOPPING REQUIREMENTS.
- DRYWALL PARTITIONS SHALL BE CONSTRUCTED AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - FRAMING MEMBERS SHALL BE 3x10" METAL STUDS @ 16" ON CENTER, EXTENDING FROM FLOOR TO UNDERSIDE OF DECK ABOVE. SIZE AND SPACING OF STUDS MAY VARY AS REQUIRED FOR HEIGHT OF PARTITION AND OTHER SPECIAL CONDITIONS. CONTRACTOR TO VERIFY ALL STUD GAUGES REQUIRED.
 - THE ABOVE IS A MINIMUM REQUIREMENT. ACTUAL GAUGE, HEIGHT AND SPACING OF METAL STUDS SHALL BE AS DETERMINED TO MEET STRUCTURAL AND SEISMIC LOADS, AND ALSO TO LIMIT PARTITION DEFLECTION TO 1/80 WITH A LATERAL LOAD OF 5 PSF. HORIZONTAL FRAMING FOR HOLD A MOISTURE RESISTANT BOARD SOFFITS SHALL BE SPACED MORE THAN 12" ON CENTER, REFER TO SPECIFICATIONS AND TO US DRYWALL GAUGE, SANGU, OR SOGAL FOR GAUGES.
 - PROVIDE 3/4" MINERAL WOOL INSULATION BETWEEN METAL STUDS. THICKNESS OF INSULATION SHALL VARY TO SUIT DEPTH OF METAL STUDS ACTUALLY USED, INCLUDING BRISTLE WALL STUDS.
 - UNLESS OTHERWISE NOTED, GWS, TO BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF STRUCTURE/DECK/SLAB ABOVE.
 - USE WATER RESISTANT GWS, IN ALL TOILET ROOMS AND BATHROOMS.
 - CERAMIC TILE SHALL BE THINSET ON CEMENTITIOUS BOARD PARTITIONS, AND THINSET WHEN APPLIED TO MASONRY. REFER TO ROOM FINISH SCHEDULES FOR CERAMIC TILE LOCATIONS, SETS, PROVIDE 1/2" CEMENT BOARD BACKER WHEREVER TILE OCCURS.
 - IN POTENTIALLY WET AREAS THE FLOOR TRACK AND BOTTOM PORTION OF STUDS SHALL RECEIVE AN APPLICABLE BITUMINOUS COATING.
 - IN THE BOTTOM EDGE OF WALLBOARD SHALL BE REBAR 1/2" ABOVE CONCRETE SLAB IN CORRIDORS, LOBBIES, VESTIBULES, AND POTENTIALLY WET AREAS. REBAR BOTTOM EDGE OF WALLBOARD WITH COVERED GALVANNEED METAL TRIM. FILL GAP WITH NONSPRINK MATERIAL.



NO.	DATE	REVISION DESCRIPTION
1	7/25/2014	LPC PROJECT REVIEW

LPC SUBMISSION 08/5/2015
CITY PLANNING SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

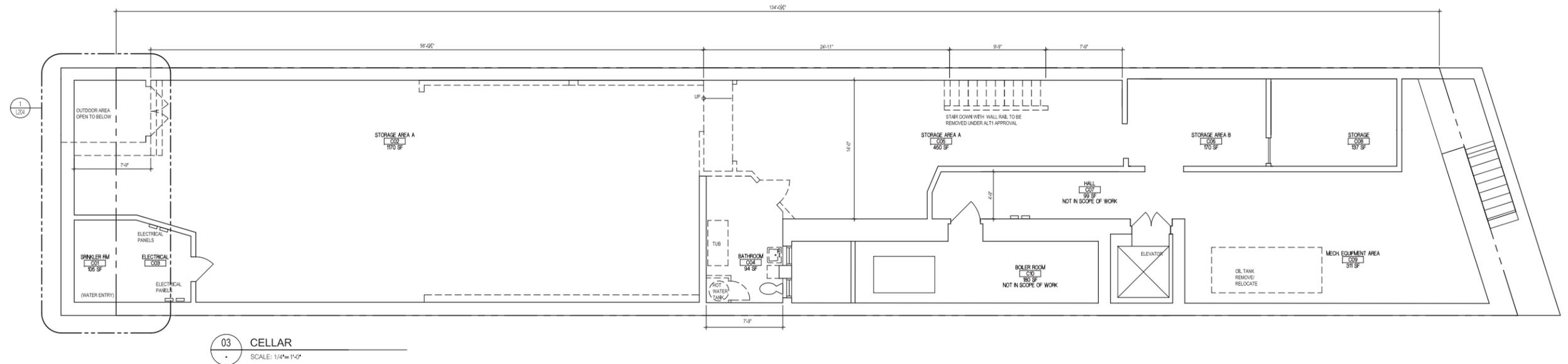
AMOIA CODY ARCHITECTURE
507 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiacody.com

DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014

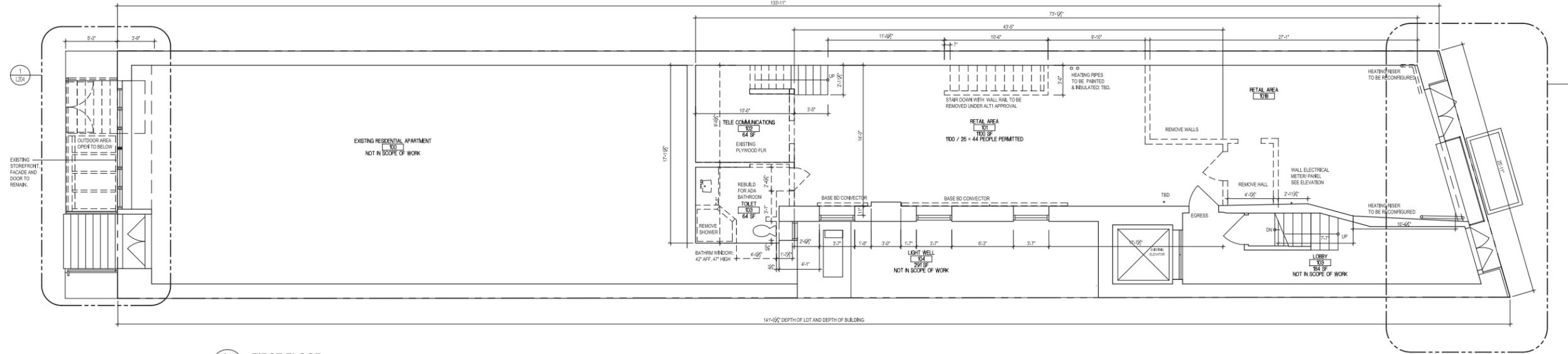


TITLE:
PROPOSED PLANS
SHEET NO.
L102.00

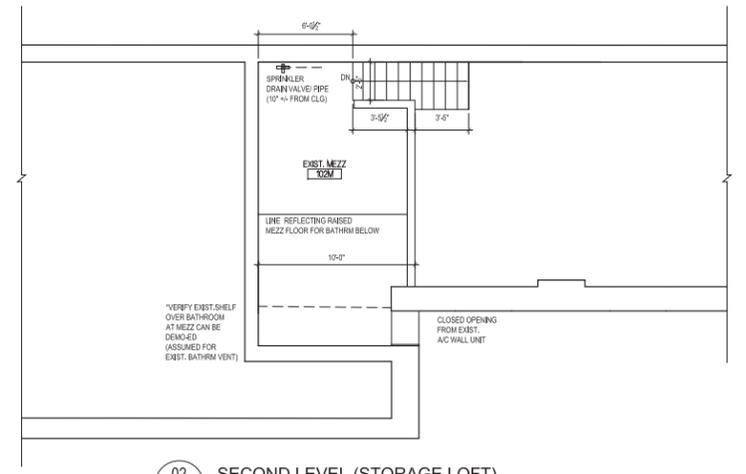
ISSUED BELOW



03 CELLAR
SCALE: 1/4"=1'-0"



01 FIRST FLOOR
SCALE: 1/4"=1'-0"



02 SECOND LEVEL (STORAGE LOFT)
SCALE: 1/4"=1'-0"

GRAPHIC LEGEND

- NEW INTERIOR WALL, NON- LOAD BEARING
- EXISTING WALL (EXTERIOR WALLS)
- EXISTING DOOR
- NEW DOOR

NO.	DATE	REVISION DESCRIPTION
1	7/25/2014	LPC PROJECT REVIEW

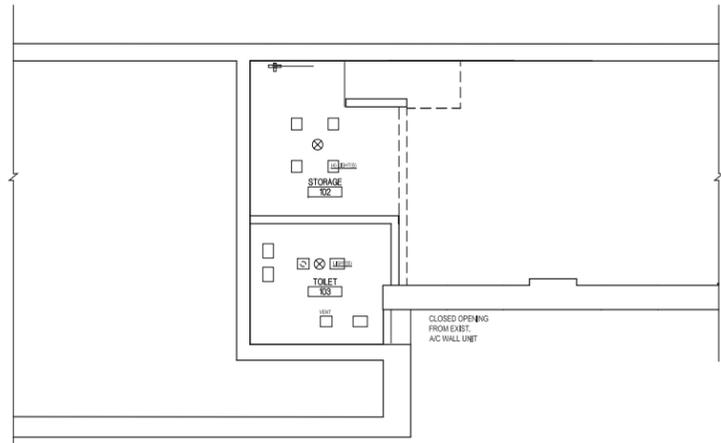
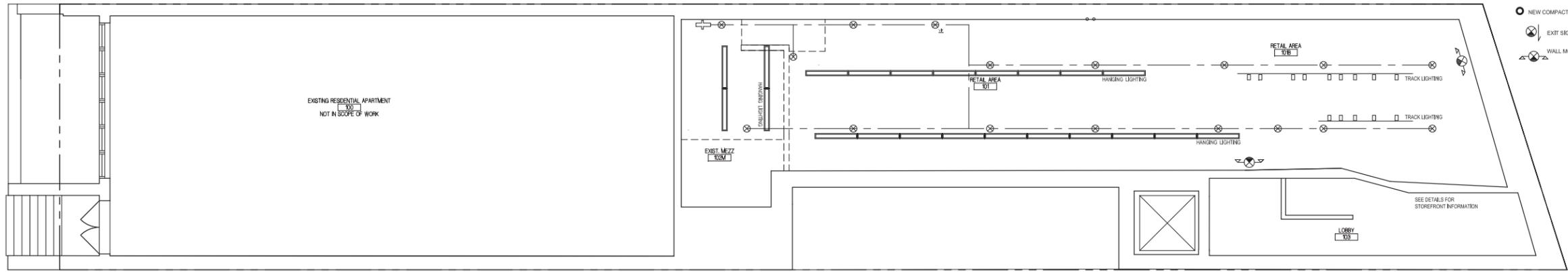
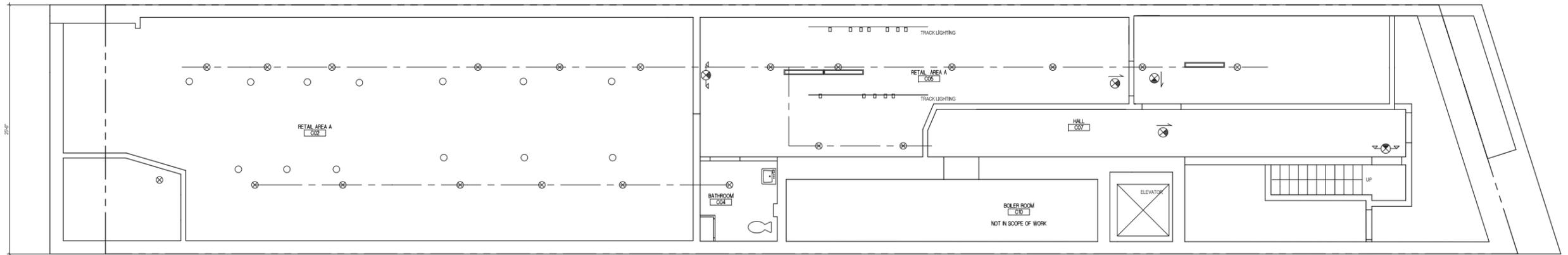
LPC SUBMISSION 08/5/2015
CITY PLANNING
SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiacody.com

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CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014



TITLE:
DEMO PLANS
SHEET NO.
L101.00
OF
SCAN BELOW



NO.	DATE	REVISION DESCRIPTION
1	7/25/2014	LPC PROJECT REVIEW

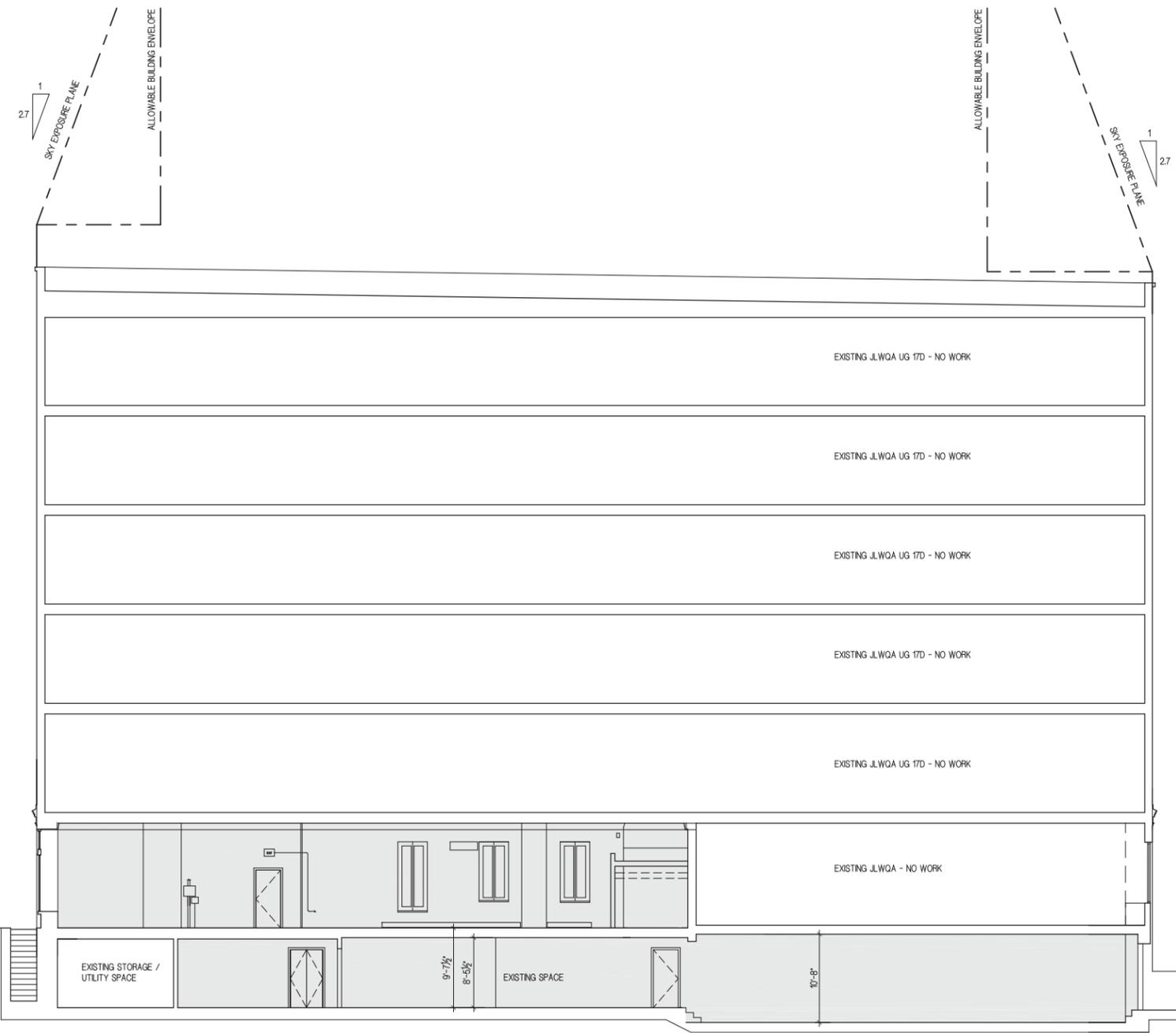
LPC SUBMISSION 08/5/2015
CITY PLANNING SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiacody.com

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CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014



TITLE:
RCP PLANS
SHEET NO.
L103.00
OF
SCAN BELOW



01 BUILDING SECTION
SCALE: 1/8"=1'-0"

NO.	DATE	REVISION DESCRIPTION
3	8/10/2015	FOR PUBLIC HEARING
2	8/20/2015	LPC PROJECT REVIEW 2
1	7/29/2014	LPC PROJECT REVIEW

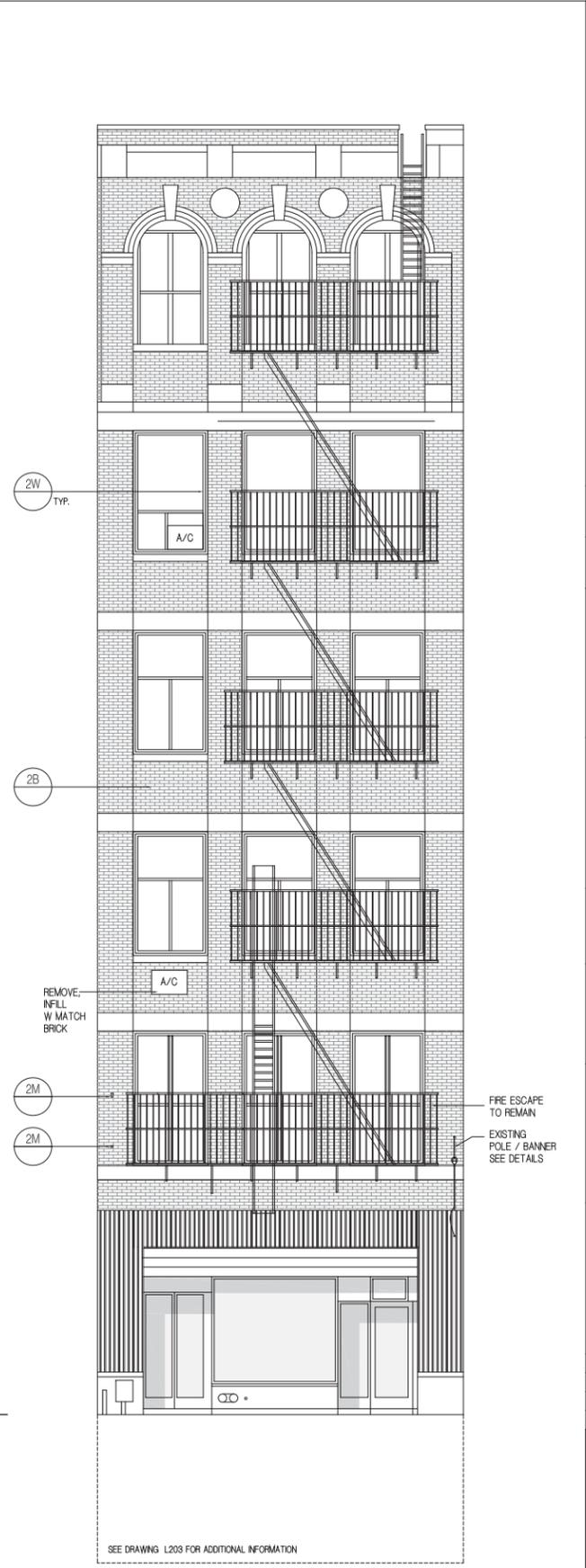
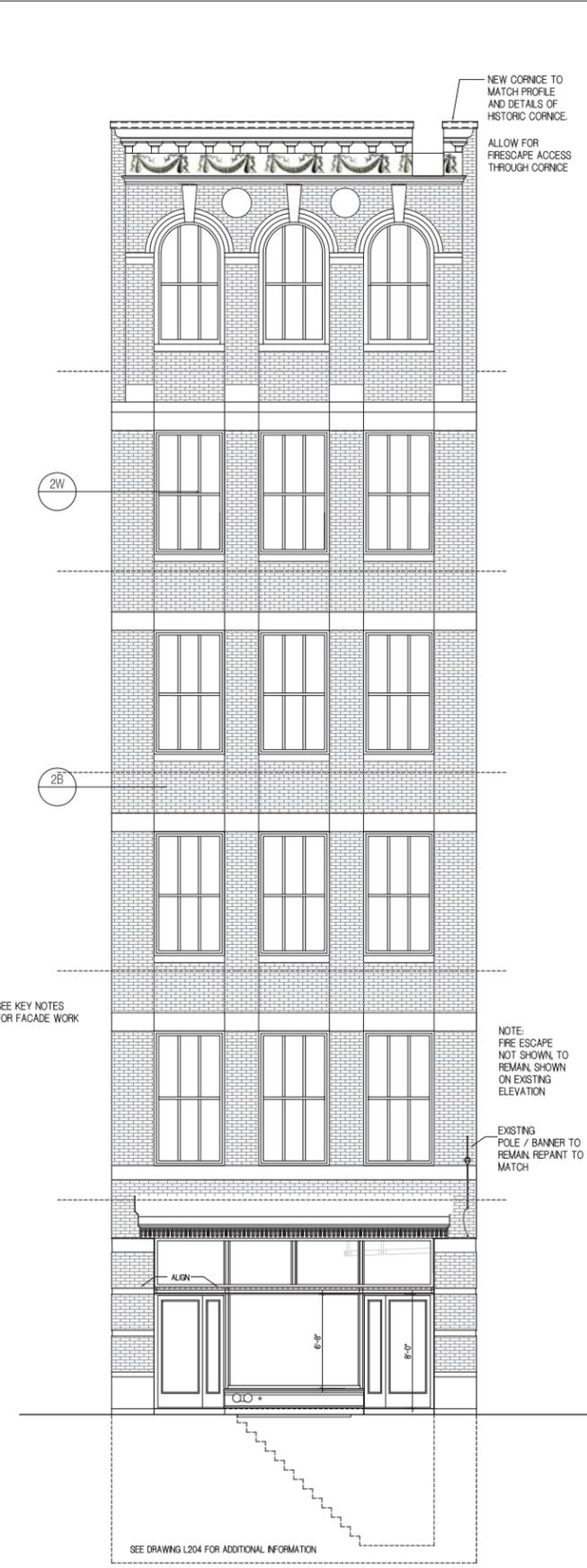
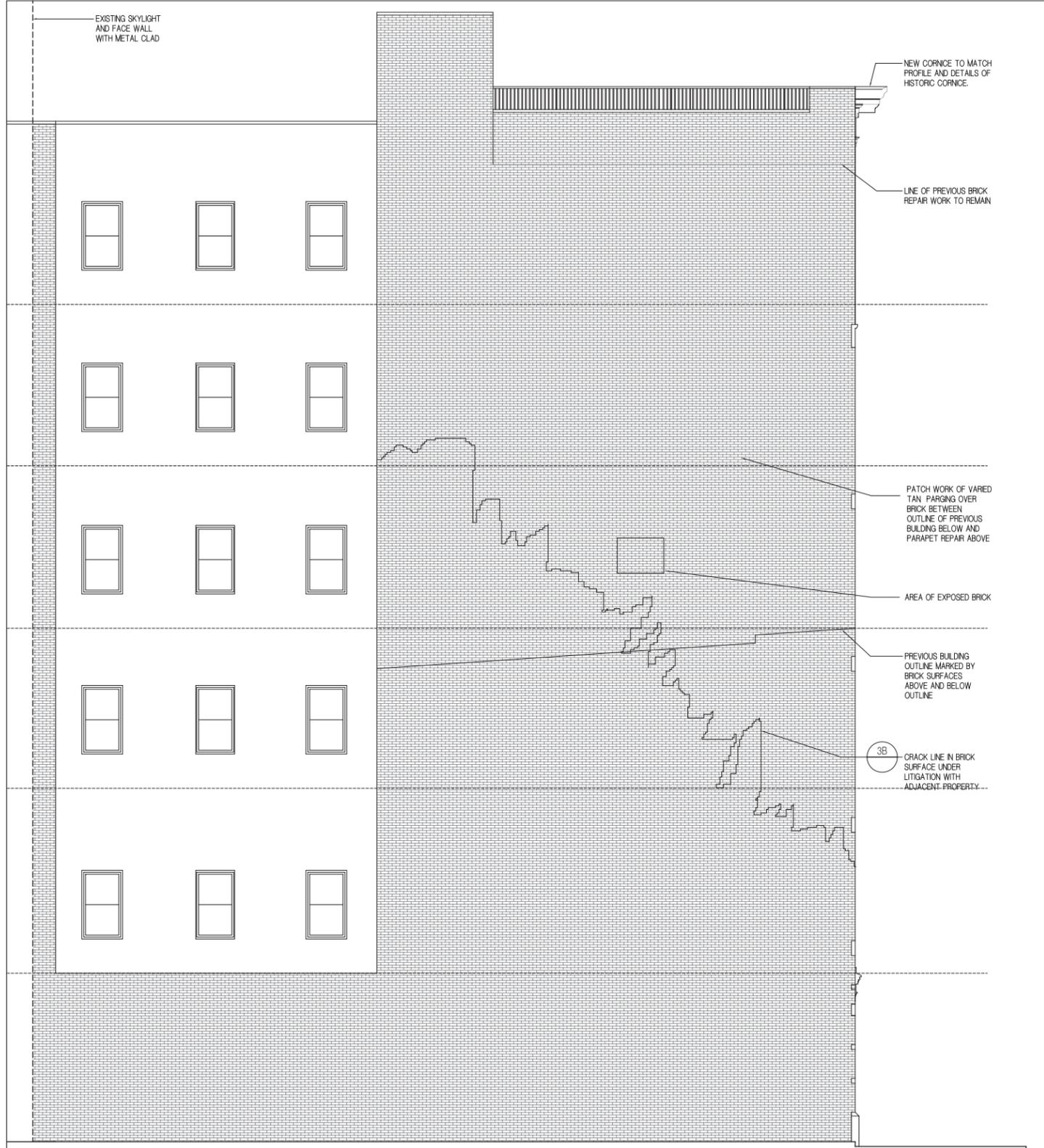
LPC SUBMISSION 08/5/2015
CITY PLANNING
SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiaacody.com

DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014



TITLE:
BUILDING SECTION
SHEET NO.
A-301.00
BSCAN BELOW



2 SOUTH ELEVATION AT LAFAYETTE STREET

SCALE: 3/16"=1'-0"
FACADE KEY NOTES:

- 1W, 2W GENERAL NOTE REGARDING WINDOWS: REPLACEMENT OF ANY BUILDINGS WINDOWS IN ACCORDANCE WITH RESTORATION PLAN AND RESTRICTIVE DECLARATION. WINDOWS TO BE HISTORICAL METAL (KALMEL). FUTURE APPLICATION FOR WINDOW REPLACEMENT WILL BE METAL AND MEET STAFF RULES.
- 1B CROSBY ST. STRIP PAINT FROM BRICKS & CLEAN ALL BRICK; INCLUDES PAINT REMOVAL AT LINTELS/ STONE
- 2B LAF. ST. STRIP PAINT FROM BRICKS F LOCATIONS FOUND; CLEAN ALL BRICK.
- 3B ALL BRICK & STONE CRACKING ON FACADE OF CROSBY STREET TO BE REPAIRED AFTER RESOLUTION OF LITIGATION WITH NEIGHBORING PROPERTY (CROSBY HOTEL).
- 1M CROSBY ST. REMOVE ALL BRACKETS AND REPAIR BRICKWORK EFFECTED BY REMOVAL.
- 2M LAF. ST. REMOVE ALL BRACKETS AND REPAIR BRICKWORK EFFECTED BY REMOVAL.
- 3M CROSBY ST. REMOVE VERTICAL BILLBOARD STRUCTURE AND REPAIR BRICKWORK EFFECTED BY REMOVALS. INCLUDES ANY CONNECTIONS ON SIDE (NORTH) WALL.
- 1S PROVIDE PAINT ANALYSIS FROM CROSBY HISTORICAL COMPONENTS FOR COLOR OF STOREFRONTS INCLUDES LAFAYETTE STOREFRONT.
- 1SS REMAINING STONE CURB AROUND AREAWAY AT CROSBY ST. TO BE RETAINED TO RESET IF NEEDED.
- DETAILS EXISTING ON CROSBY ST. TO BE REFERENCE FOR STOREFRONT DETAIL ON LAFAYETTE.

2 PROPOSED LAFAYETTE ST ELEVATION

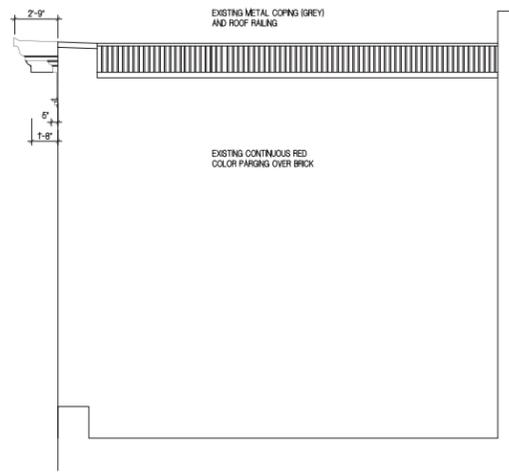
SCALE: 3/16"=1'-0"

1 EXISTING LAFAYETTE ST ELEVATION

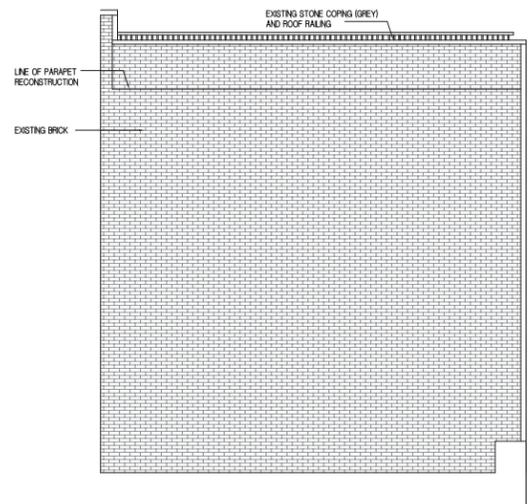
SCALE: 3/16"=1'-0"

REMOVE EXISTING STOREFRONT WITH DOORS AND TRANSOM. ENLARGE AND RESTORE STOREFRONT PER LPC APPROVED DRAWINGS. REPAIR & CLEAN MASONRY AT BASE PER SPECIFICATIONS. SEE FACADE KEY NOTES.

LPC SUBMISSION 08/5/2015		CITY PLANNING	
SUBMISSION 05/12/2015		PROJECT LOCATION	
248 Lafayette Street NEW YORK, NY			
AMOIA CODY ARCHITECTURE 597 VANDERBILT AVE BROOKLYN NY 11238 P 631.355.1328 F 631.614.4356 info@amoiacody.com			
DRAWN BY: RG		CHECKED BY: AA/RC	
SCALE: AS NOTED		DATE: 07/25/2014	
TITLE: LAFAYETTE STREET DRAWINGS			
SHEET NO. L201.00			



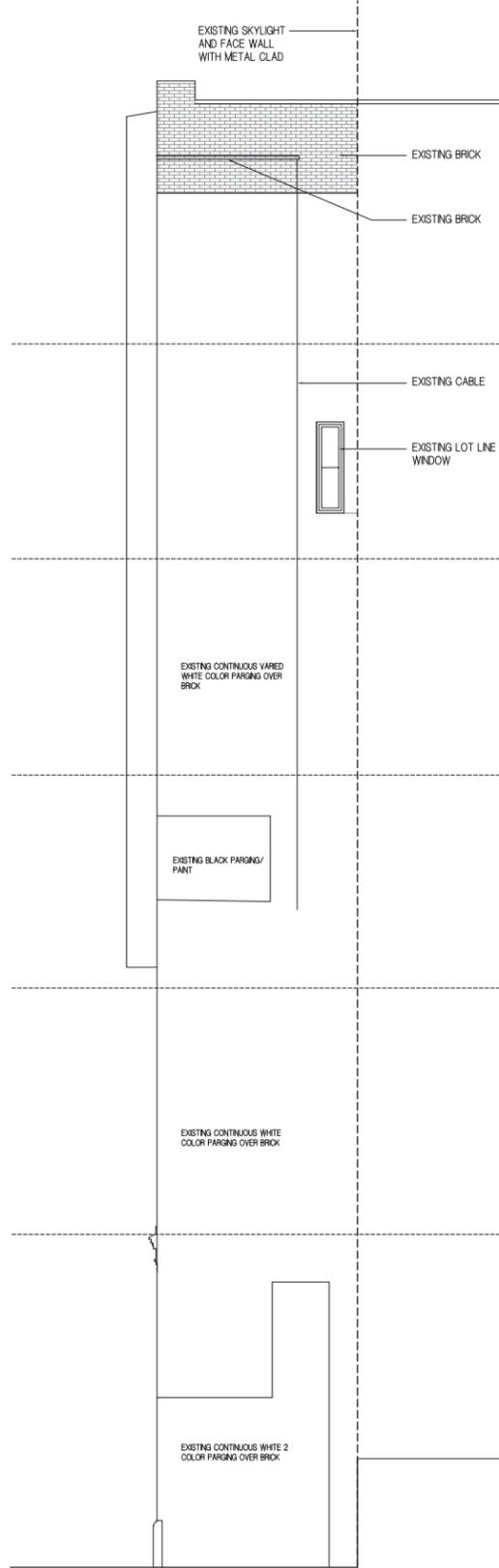
4 NORTH ELEVATION AT LAFAYETTE STREET
SCALE: 1/4"=1'-0"



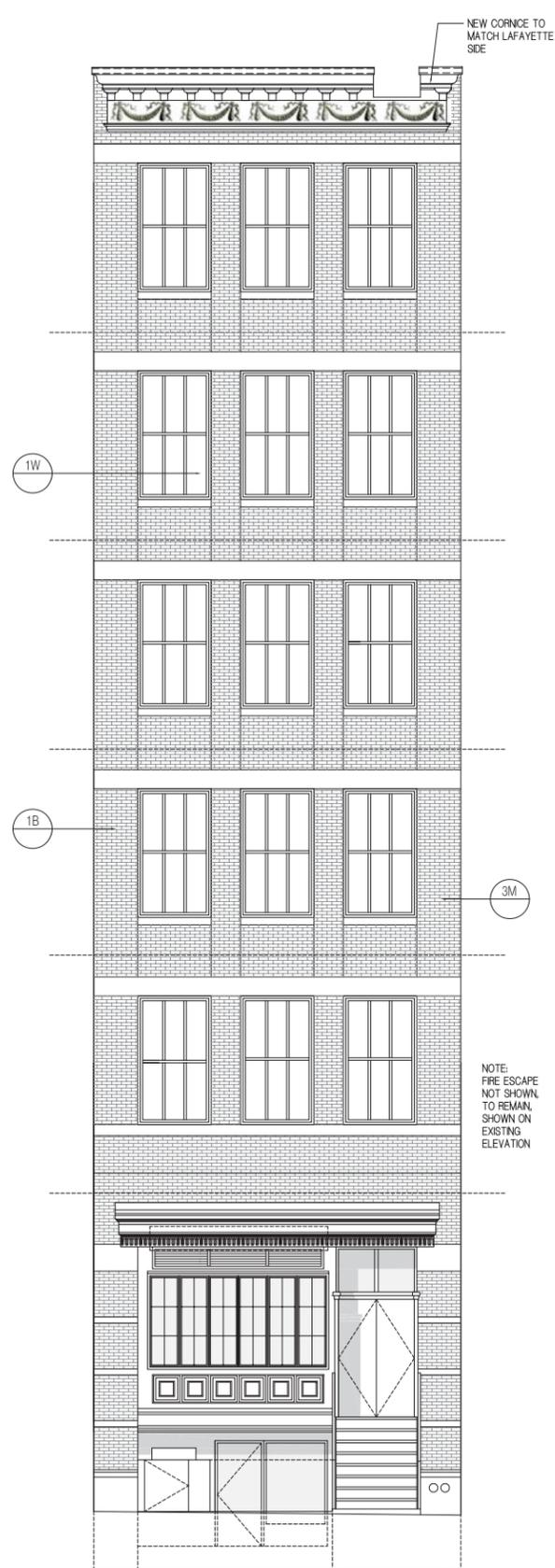
5 NORTH ELEVATION AT CROSBY STREET
SCALE: 3/16"=1'-0"

FACADE KEY NOTES:

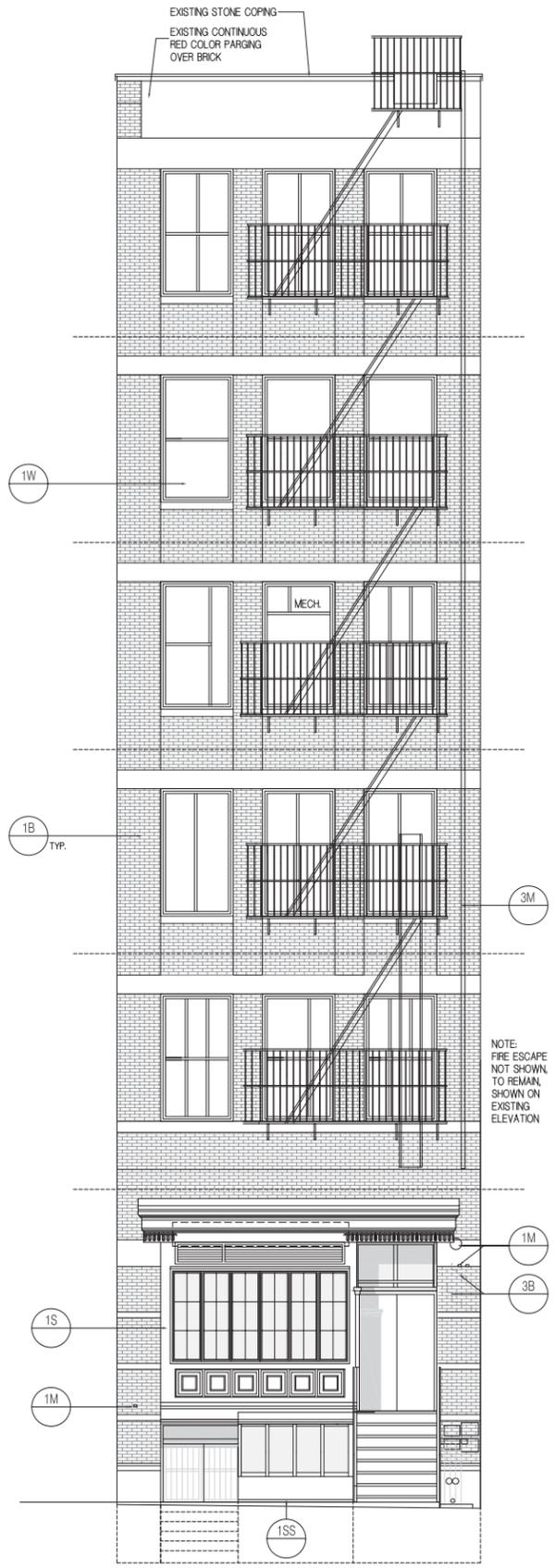
- 1W, 2W GENERAL NOTE REGARDING WINDOWS:
REPLACEMENT OF ANY BUILDINGS WINDOWS IN ACCORDANCE WITH RESTORATION PLAN AND RESTRICTIVE DECLARATION.
WINDOWS TO BE HISTORICAL METAL (KALUMEN). FUTURE APPLICATION FOR WINDOW REPLACEMENT WILL BE METAL AND MEET STAFF RULES.
- 1B CROSBY ST: STRIP PAINT FROM BRICKS & CLEAN ALL BRICK; INCLUDES PAINT REMOVAL AT LINTELS/ STONE
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- 2M LAF. ST: REMOVE ALL BRACKETS AND REPAIR BRICKWORK EFFECTED BY REMOVAL.
- 3M CROSBY ST: REMOVE VERTICAL BILLBOARD STRUCTURE AND REPAIR BRICKWORK EFFECTED BY REMOVALS,
INCLUDES ANY CONNECTIONS ON SIDE (NORTH) WALL.
- 1S PROVIDE PAINT ANALYSIS FROM CROSBY HISTORICAL COMPONENTS FOR COLOR OF STOREFRONTS INCLUDES LAFAYETTE STOREFRONT.
- 1SS REMAINING STONE CURB AROUND AREAWAY AT CROSBY ST TO BE RETAINED TO RESET IF NEEDED.
- DETAILS EXISTING ON CROSBY ST TO BE REFERENCE FOR STOREFRONT DETAIL ON LAFAYETTE.



3 SOUTH ELEVATION AT CROSBY STREET
SCALE: 3/16"=1'-0"



2 PROPOSED CROSBY ST ELEVATION (WEST)
SCALE: 3/16"=1'-0"
SEE DRAWING L207 FOR ADDITIONAL INFORMATION.



1 EXISTING CROSBY ST ELEVATION
SCALE: 3/16"=1'-0"
SEE DRAWING L206 FOR ADDITIONAL INFORMATION.

NO.	DATE	REVISION DESCRIPTION
3	8/15/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PRES
3	9/10/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PRES
2	8/25/2015	LPC PROJECT REVIEW 2

LPC SUBMISSION 08/5/2015
CITY PLANNING
SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

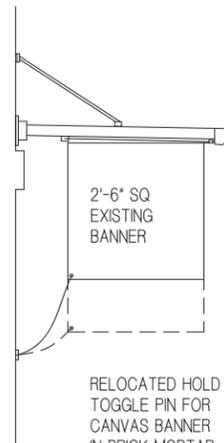
AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
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DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014



TITLE:
CROSBY ST DRAWINGS
SHEET NO.
L202.00

BSICAN BELOW

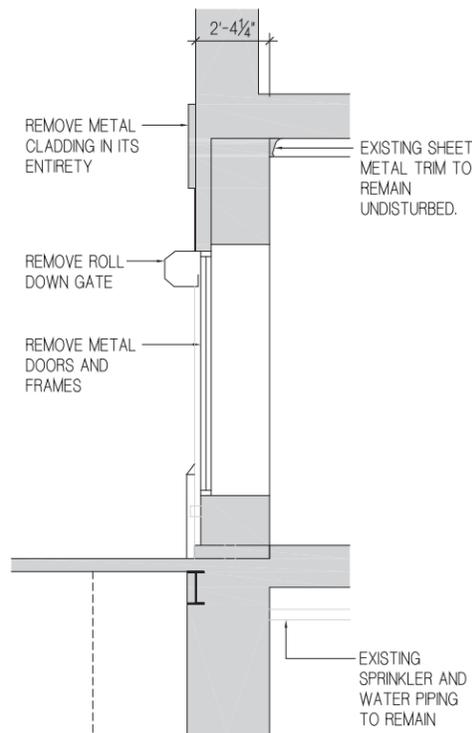


EXISTING STEEL 15" METAL ARMATURE BRACKET TO REMAIN; CLEAN

CANVAS BANNER 3'-0" MAX X 2'-0" MAX PER LPC SECTION 2-20 SIGN REQUIREMENTS ATTACHED TO CABLE PULL WELDED TO ARMATURE

RELOCATED HOLD TOGGLE PIN FOR CANVAS BANNER IN BRICK MORTAR RECESS

REPAINT ALL COMPONENTS PER APPROVED COLOR.



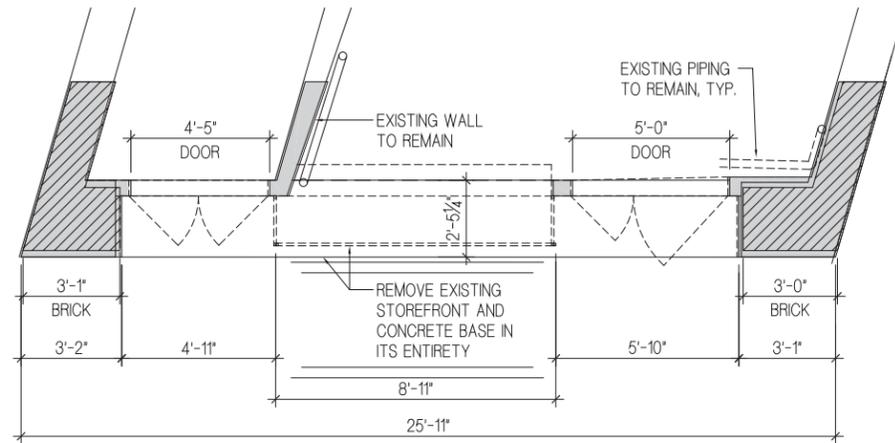
REMOVE METAL CLADDING IN ITS ENTIRETY

EXISTING SHEET METAL TRIM TO REMAIN UNDISTURBED.

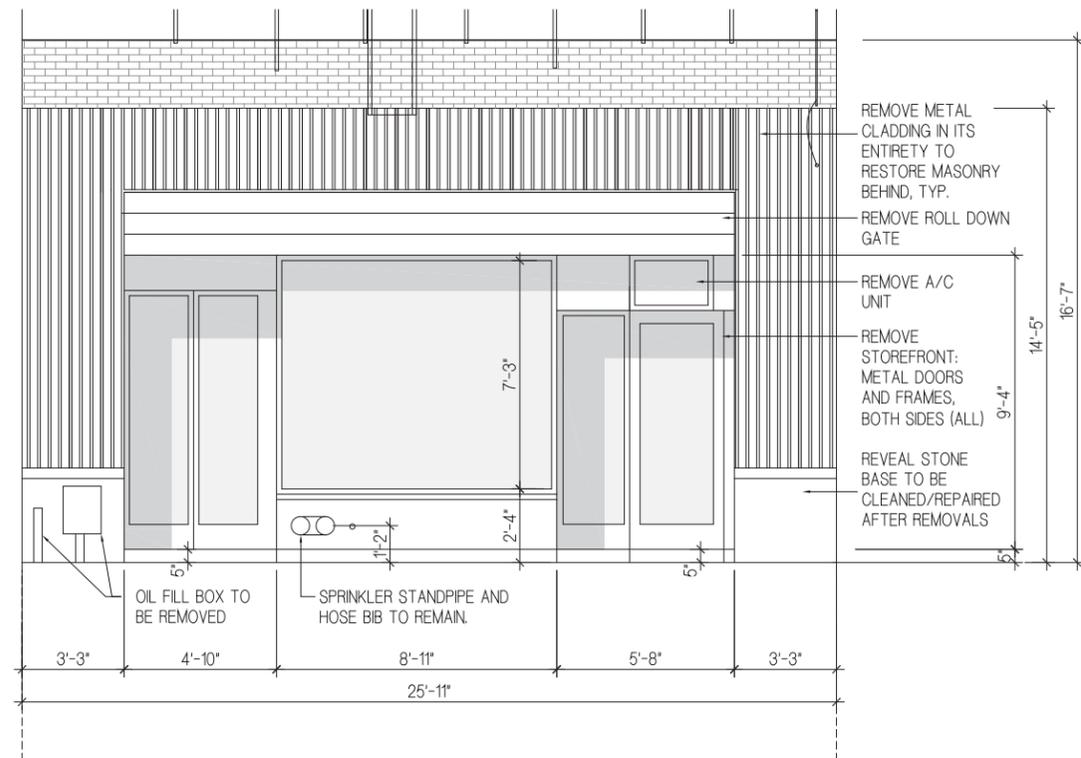
REMOVE ROLL DOWN GATE

REMOVE METAL DOORS AND FRAMES

EXISTING SPRINKLER AND WATER PIPING TO REMAIN



1A EXISTING LAFAYETTE ST STOREFRONT - PLAN
SCALE: 1/4"=1'-0"



1B EXISTING LAFAYETTE ST STOREFRONT
SCALE: 1/4"=1'-0"

2 EXISTING SIGNAGE BANNER PHOTO AND DETAIL
SCALE: 3/4"=1'-0"

1C EX. SECTION @ STOREFRONT
SCALE: 1/4"=1'-0"

NO.	DATE	REVISION DESCRIPTION
3	8/15/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PREP
3	8/10/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PREP
2	8/26/2015	LPC PROJECT REVIEW 2

LPC SUBMISSION 08/05/2015
CITY PLANNING SUBMISSION 05/12/2015

PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiacody.com

DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 8/25/2014

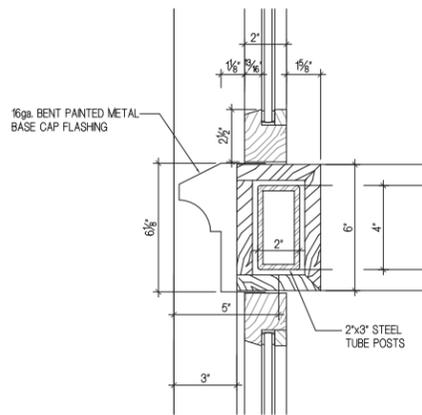
REGISTERED ARCHITECT
ROBERT CODY
STATE OF NEW YORK
029903

TITLE:
EXISTING LAFAYETTE STREET DRAWINGS

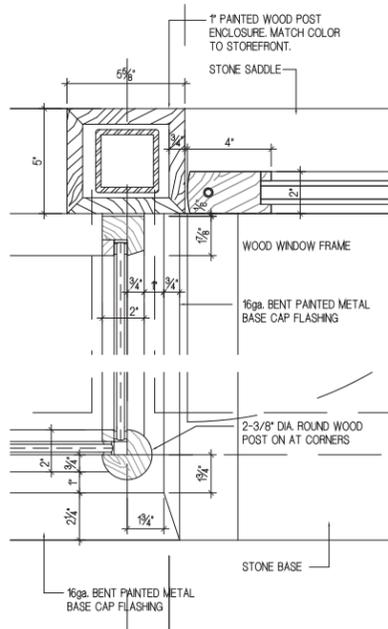
SHEET NO.
L203.00



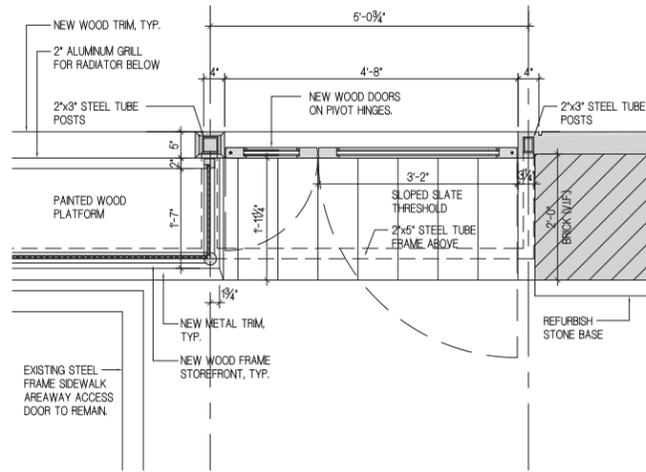
Belz Gray
OS-PSP160405
STOREFRONT COLOR



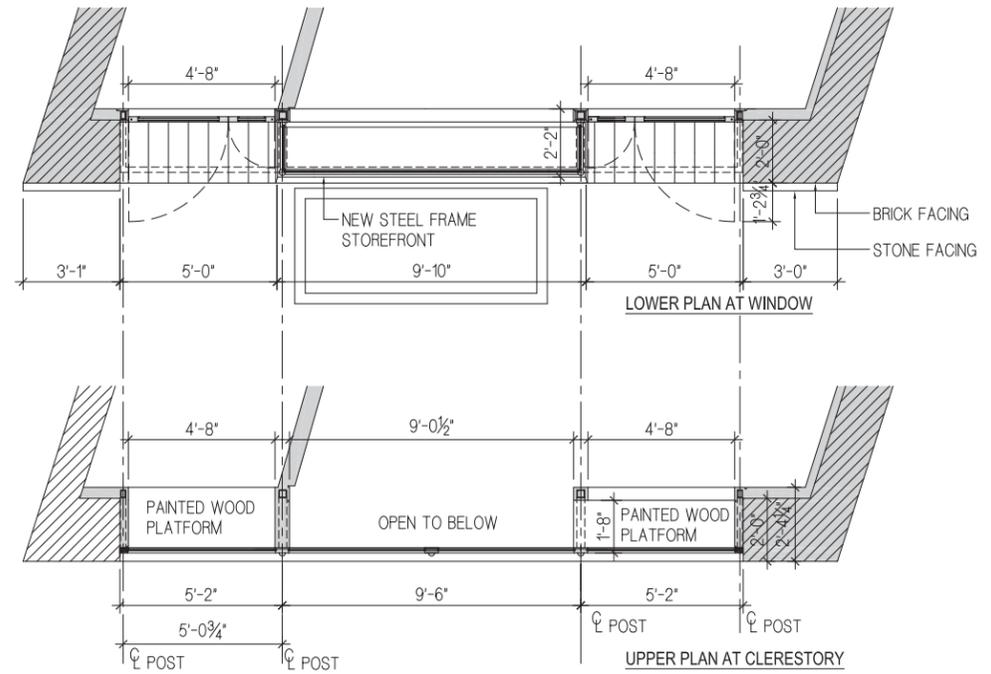
5 DETAIL - STOREFRONT
SCALE: 3/4"=1'-0"



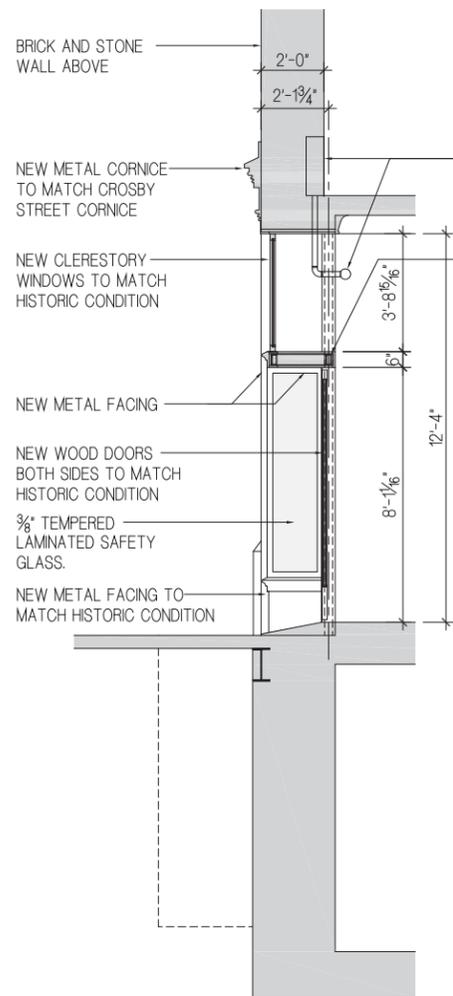
4 DETAIL - STOREFRONT
SCALE: 3/4"=1'-0"



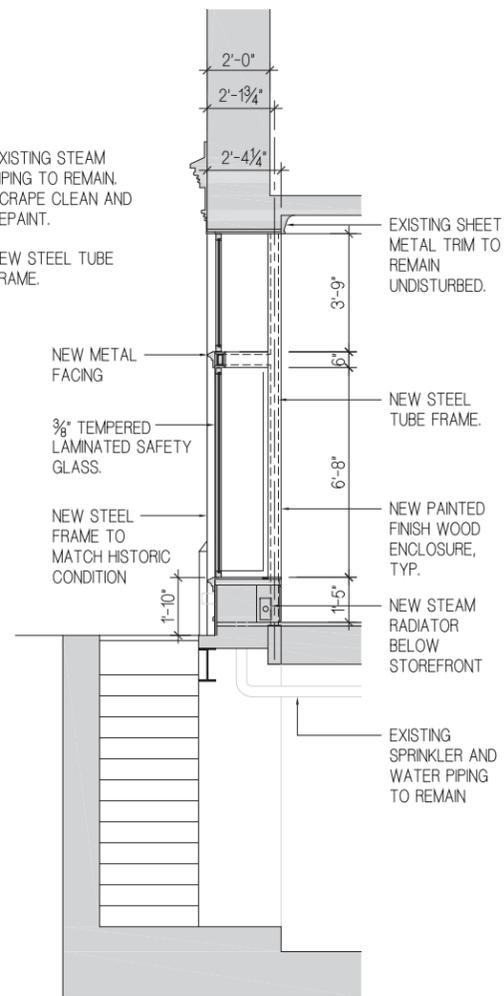
3 PROPOSED LAFAYETTE ST STOREFRONT - DOOR DETAIL
SCALE: 3/4"=1'-0"



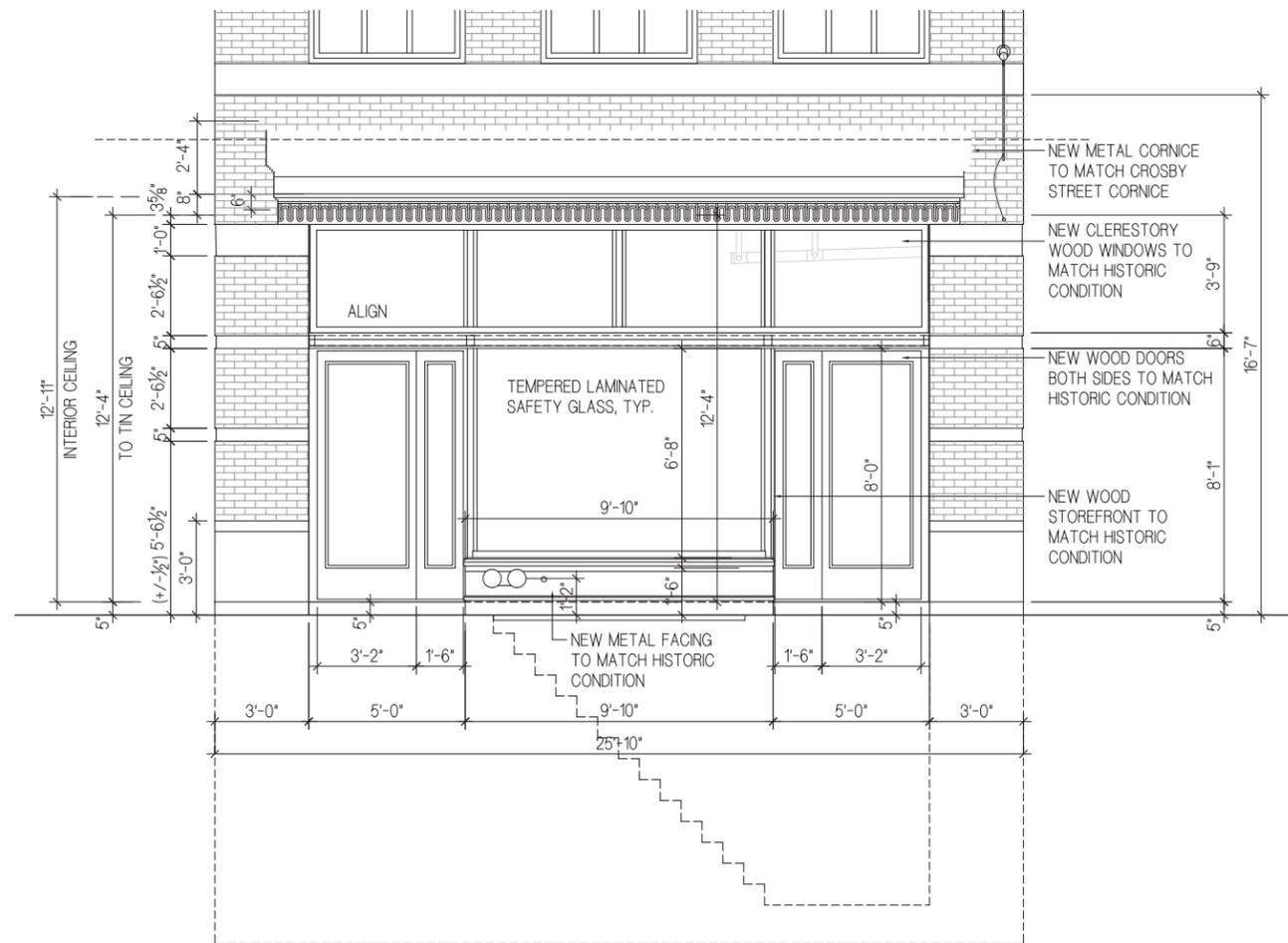
2D PROPOSED LAFAYETTE ST STOREFRONT - PLANS
SCALE: 1/4"=1'-0"



2C SECTION @ DR
SCALE: 1/4"=1'-0"



2B SECTION @ STOREFRONT
SCALE: 1/4"=1'-0"



2A PROPOSED LAFAYETTE ST STOREFRONT
SCALE: 1/4"=1'-0"

NO.	DATE	REVISION DESCRIPTION
3	8/15/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PREP
2	8/20/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PREP
1	8/20/2015	LPC PROJECT REVIEW #2

LPC SUBMISSION 08/05/2015
CITY PLANNING SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiacody.com

DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 8/20/2014

REGISTERED ARCHITECT
ROBERT CODY
STATE OF NEW YORK
029903

TITLE:
PROPOSED LAFAYETTE ST DRAWINGS

SHEET NO.
L204.00



1 FRONT LAFAYETTE STOREFRONT VIEW
SCALE: NTS

NOTE: GLASS IN THIS RENDERING IS SHOWN OPAQUE



2 SIDE LAFAYETTE STOREFRONT VIEW
SCALE: NTS

SEE ELEVATION FOR PRESS METAL
DETAIL AT BOTTOM OF CORNICE

NO.	DATE	REVISION DESCRIPTION
3	8/15/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PREP
3	8/10/2015	FOR PUBLIC HEARING REVIEW/COMMUNITY BOARD PREP
2	8/20/2015	LPC PROJECT REVIEW 2

LPC SUBMISSION 08/05/2015
CITY PLANNING
SUBMISSION 05/12/2015
PROJECT LOCATION
**248 Lafayette
Street**
NEW YORK, NY

**AMOIA CODY
ARCHITECTURE**
507 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
info@amoiacody.com

DRAWN BY: RG
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DATE: 07/25/2014

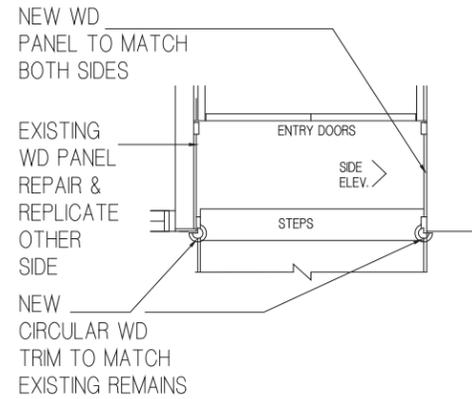


TITLE:
**STOREFRONT
VIEWS: LAFAYETTE**
SHEET NO.
L205.00

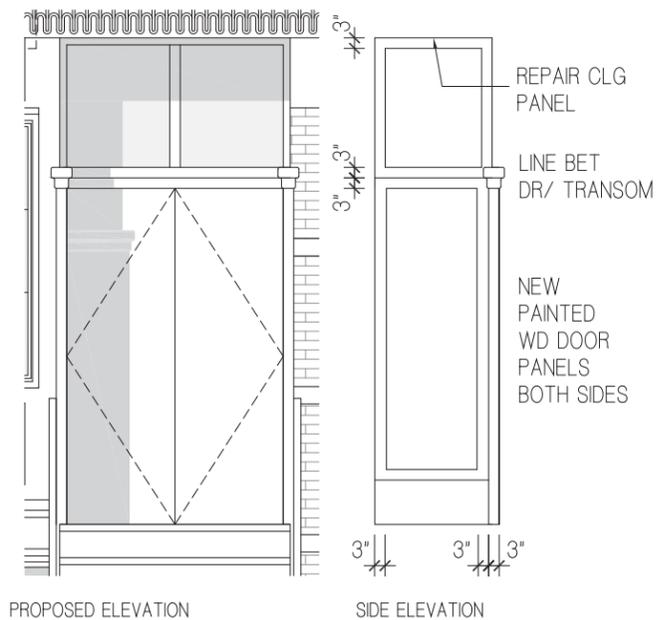
ISSUE BELOW



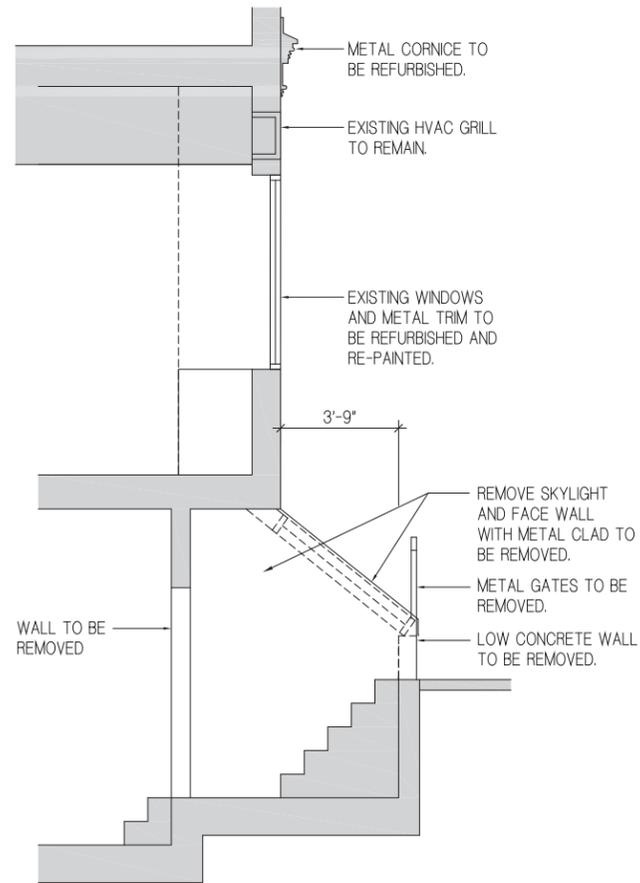
PHOTOS 1-5 (RIGHT TO LEFT) 1. NEW TRIM WORK OVER RESIDENTIAL LOUVER UNIT, 2. RESIDENTIAL ENTRY: TRIM WORK AROUND DOOR, 3. RESIDENTIAL ENTRY RAIL AT STAIR, 4. RESIDENTIAL ENTRY RAIL-OPPOSITE SIDE, 5. BASE ABOUT STANDPIPE/ FIRE ALARM, 6. EXISTING RAIL, NEW TO BE SIM.



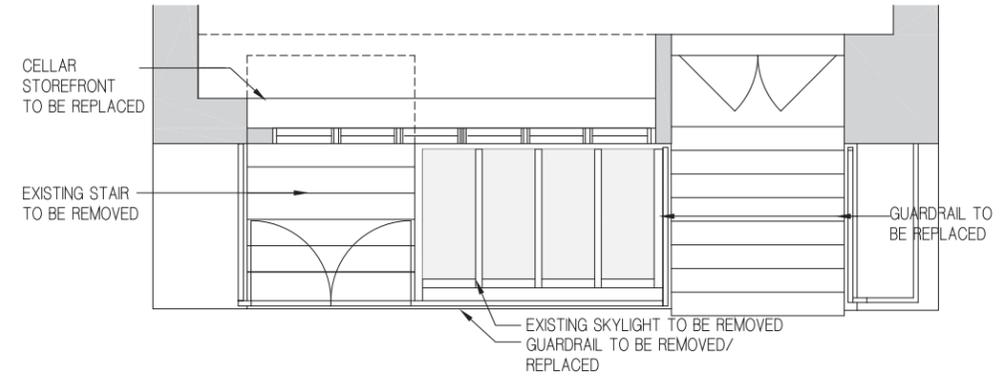
1E PLAN @ DOOR PANEL
SCALE: 3/8"=1'-0"



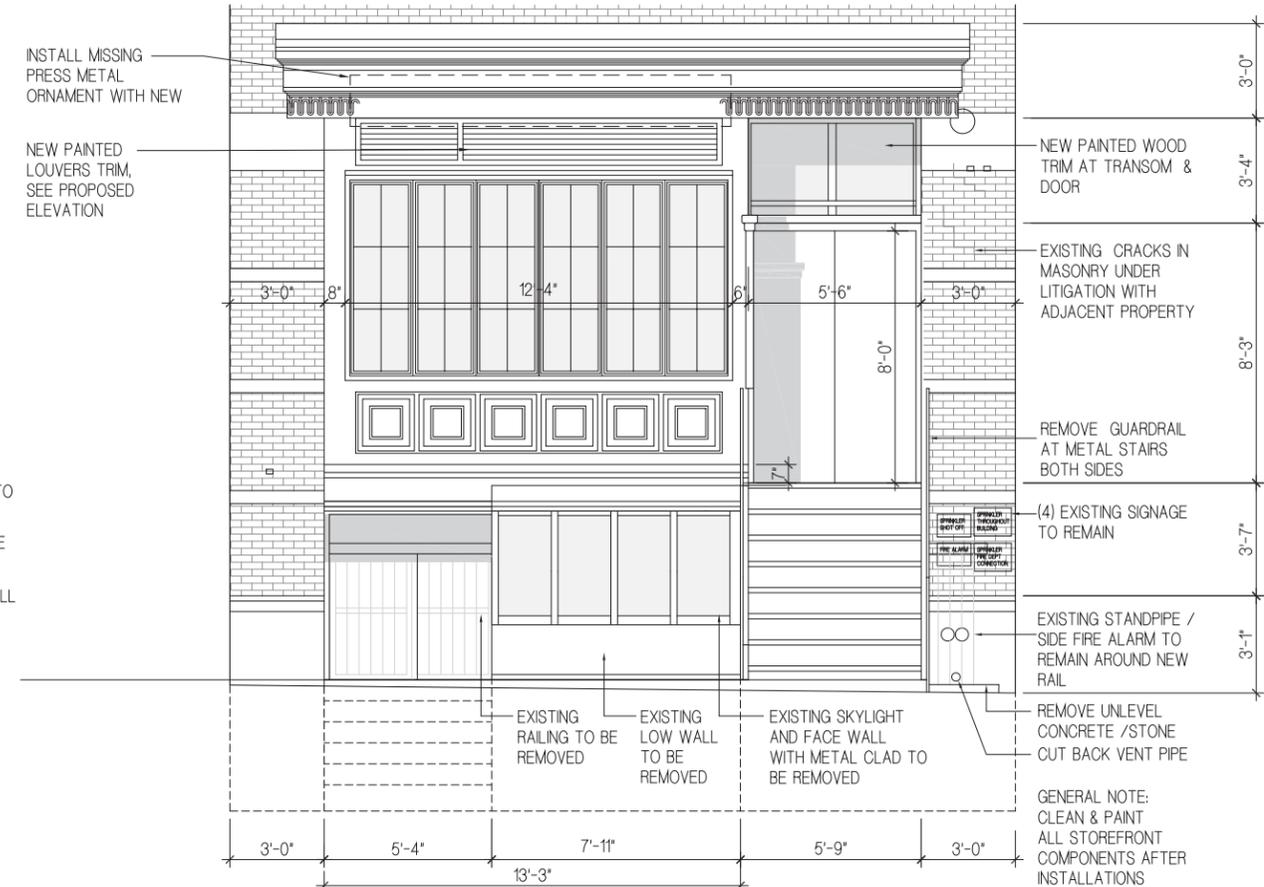
1D DOOR PANEL & TRIM
SCALE: 3/8"=1'-0"



1C EXISTING SECTION
SCALE: 3/8"=1'-0"



1A EXISTING STOREFRONT PLAN
SCALE: 3/8"=1'-0"



1B EXISTING STOREFRONT ELEVATION
SCALE: 3/8"=1'-0"

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CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014

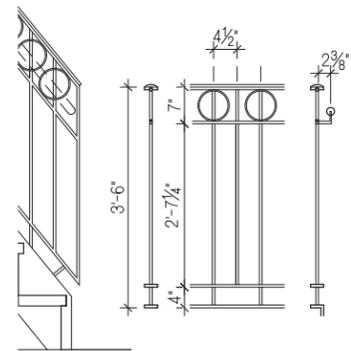
TITLE:
EXISTING CROSSBY ST DRAWINGS

SHEET NO.
L206.00



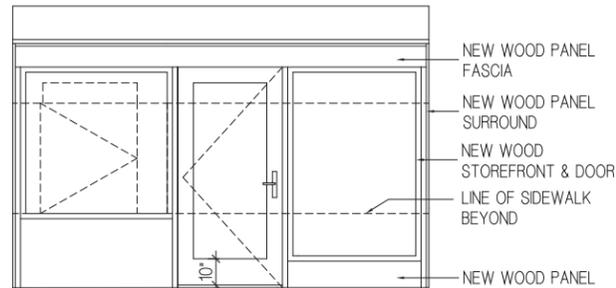
NOTE:
LIFT SHOWN IS FOR MASSING
AND GLASS DOOR ONLY.
COLOR AND FINISH TO BE
DETERMINED BY NYC LPC

3 MANUFACTURER VIEW OF LIFT - SAVARIA V1504
SCALE: 3/8"=1'-0"

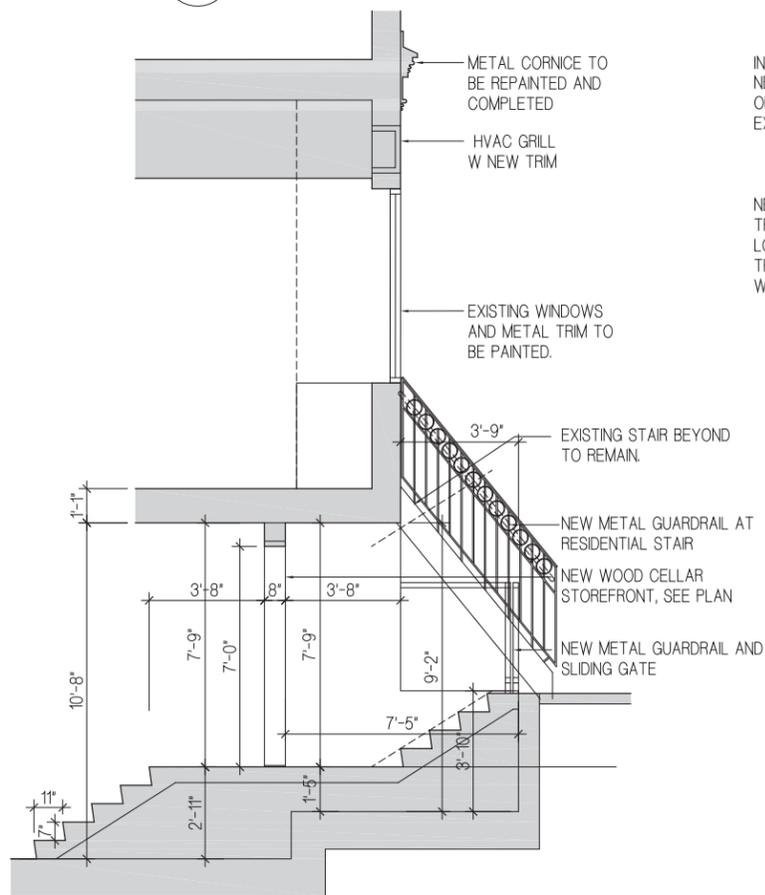


NEW BLACK 1/2"
TWISTED MTL RAIL
TO MATCH EXISTING
PORTION, SEE PHOTOS

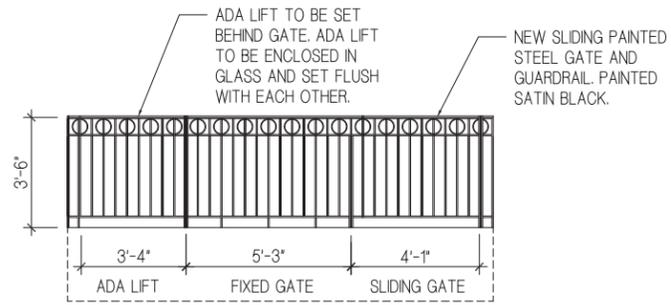
2H GUARDRAIL, RAIL
SCALE: 3/4"=1'-0"



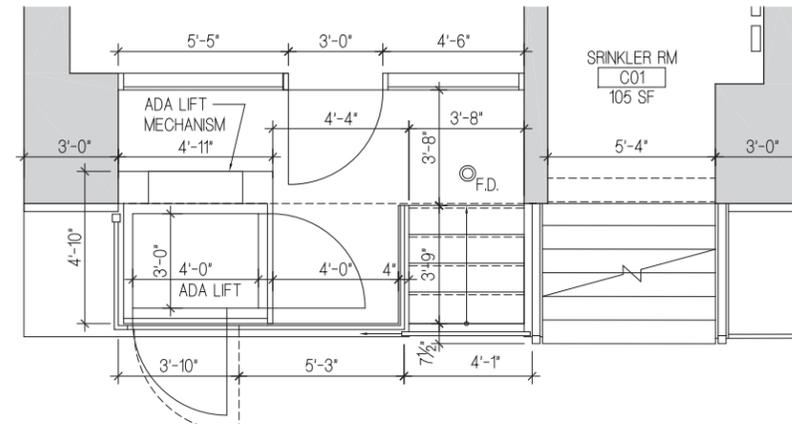
2G PROPOSED STOREFRONT @ CELLAR
SCALE: 3/8"=1'-0"



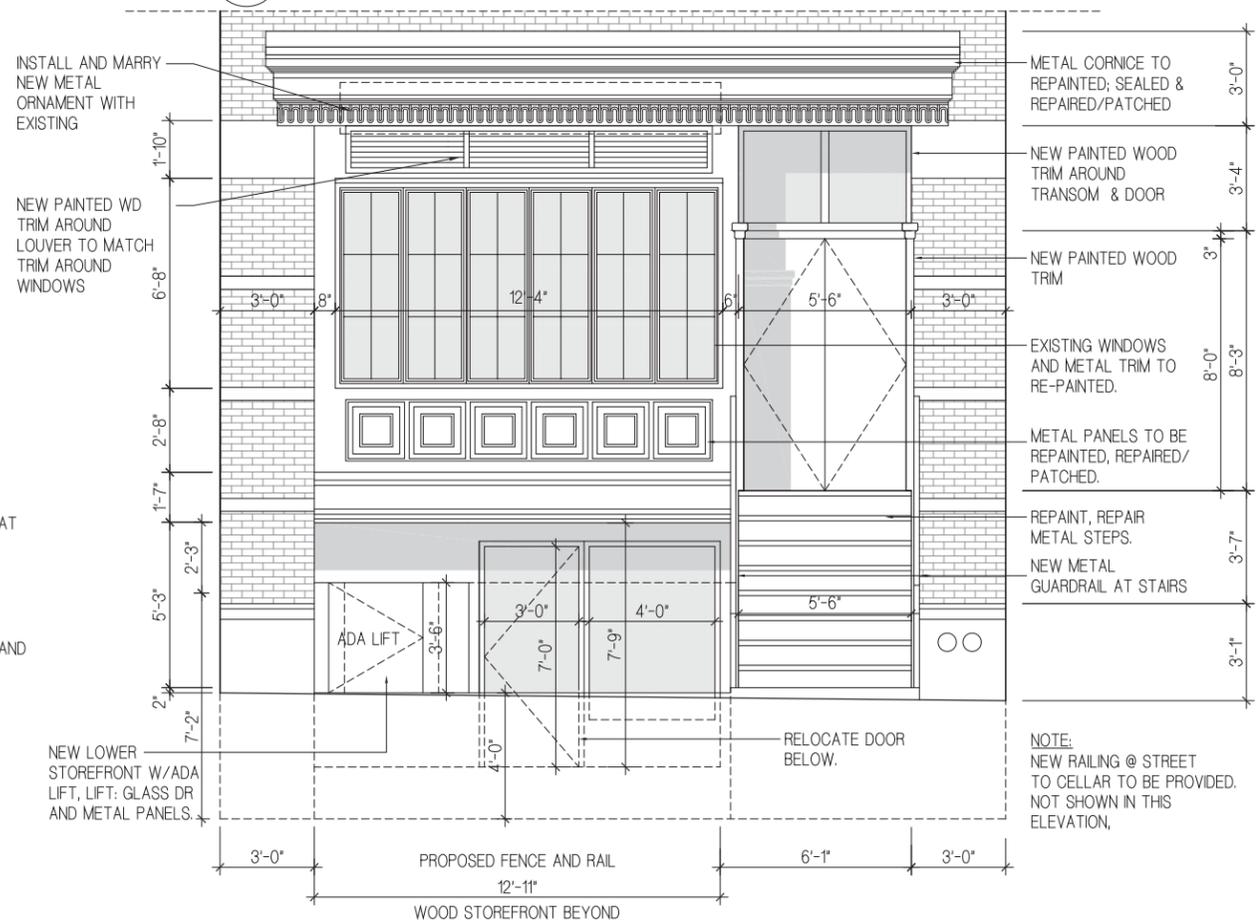
2C PROPOSED SECTION @ DOOR
SCALE: 3/8"=1'-0"



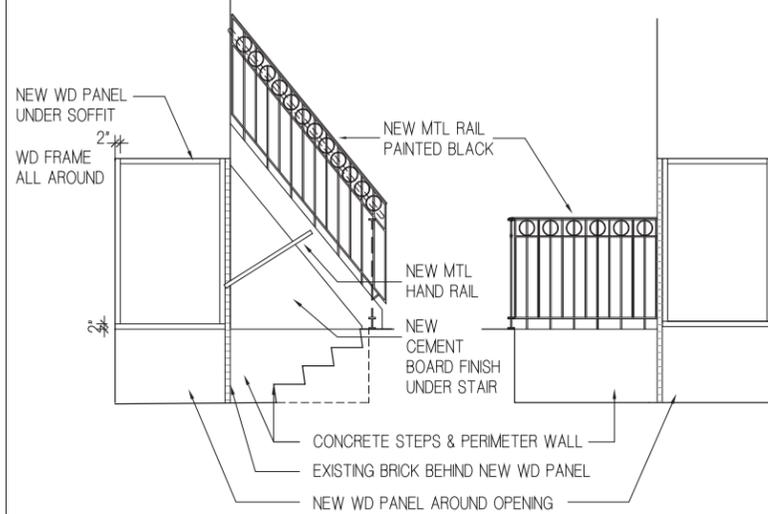
2E PROPOSED FENCE AND GATE
SCALE: 3/8"=1'-0"



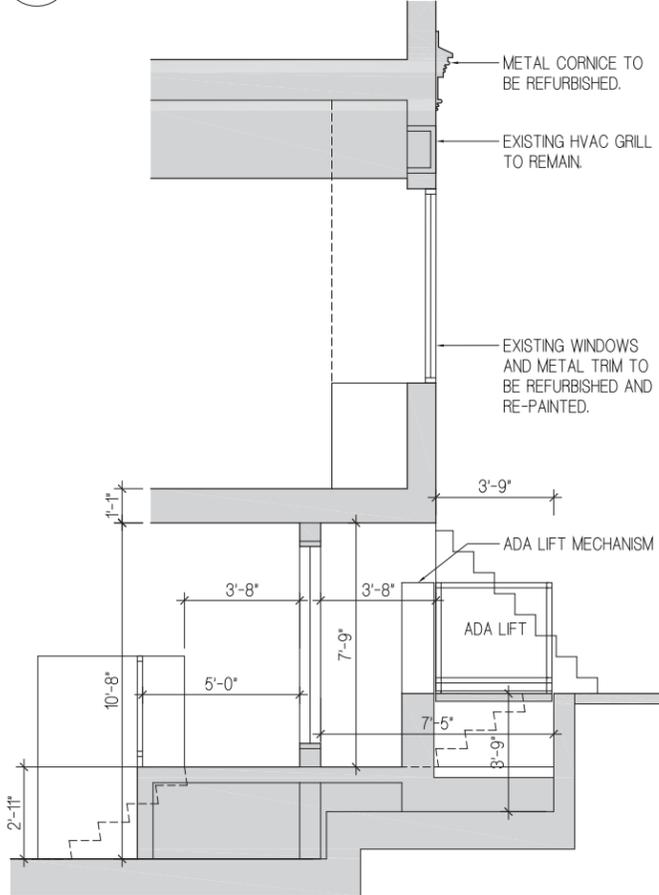
2A PROPOSED CELLAR PLAN
SCALE: 3/8"=1'-0"



2B PROPOSED STOREFRONT ELEVATION
SCALE: 3/8"=1'-0"



2F SIDE WALL ELEVATION @ CELLAR
SCALE: 3/8"=1'-0"



2D PROPOSED SECTION @ LIFT
SCALE: 3/8"=1'-0"

NO.	DATE	REVISION DESCRIPTION
1		
2		
3		

FOR PUBLIC HEARING REVIEW: COMMUNITY BOARD PRES
FOR PUBLIC HEARING REVIEW: COMMUNITY BOARD PRES
LPC PROJECT REVIEW 2

LPC SUBMISSION 08/5/2015
CITY PLANNING SUBMISSION 05/12/2015
PROJECT LOCATION
248 Lafayette Street
NEW YORK, NY

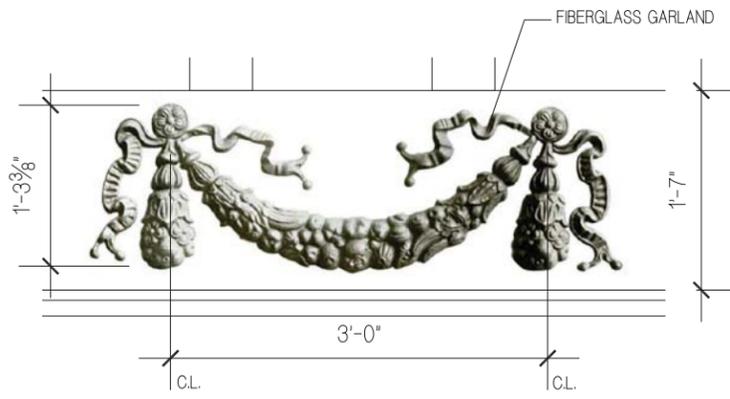
AMOIA CODY ARCHITECTURE
597 VANDERBILT AVE
BROOKLYN NY 11238
P 631.355.1328
F 631.614.4356
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DRAWN BY: RG
CHECKED BY: AA/RC
SCALE: AS NOTED
DATE: 07/25/2014

REGISTERED ARCHITECT
ROBERT CODY
STATE OF NEW YORK

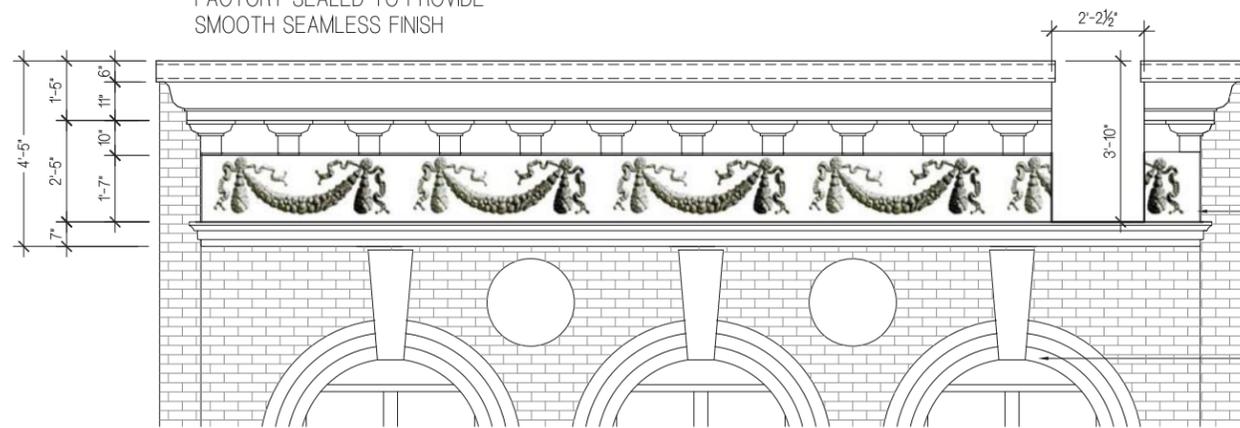
TITLE:
PROPOSED CROSBY ST DRAWINGS

SHEET NO.
L207.00



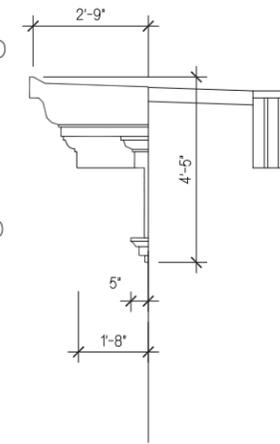
5 GARLAND (CORNICE)
SCALE: 1 1/2"=1'-0"

NOTE: ALL JOINTS TO BE
FACTORY SEALED TO PROVIDE
SMOOTH SEAMLESS FINISH

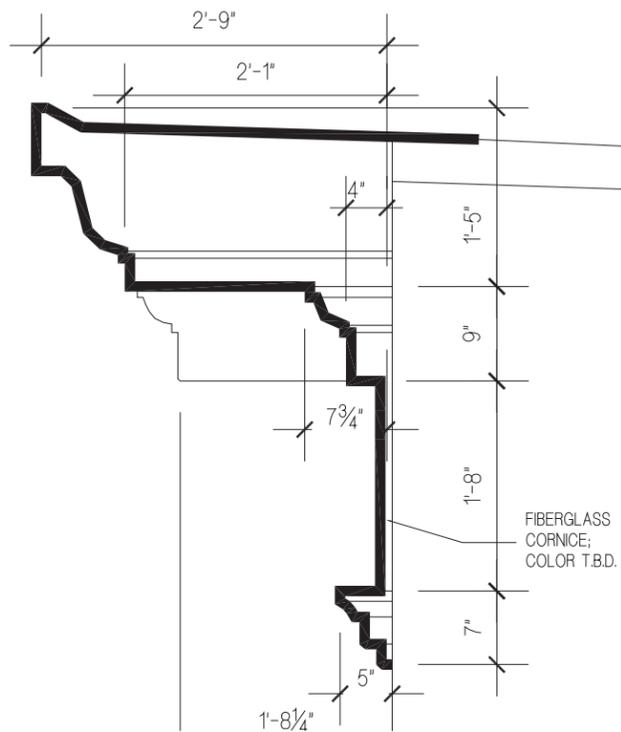


2 PROPOSED LAFAYETTE ST CORNICE - ELEVATION
SCALE: 1/2"=1'-0"
DTL 3,4,5

*CUT TO ALLOW FOR
FIRE ESCAPE LADDER
NEW FIBERGLASS CORNICE TO
MATCH PROFILE AND DETAILS
OF HISTORIC CORNICE.
MANUFACTURER: EDON CORP.
PROVIDE SHOP DWGS FOR
APPROVAL.

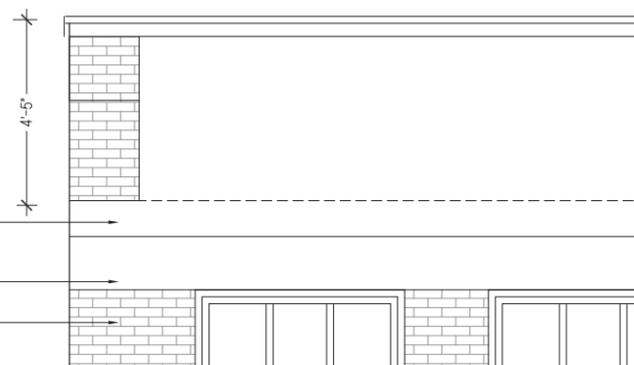


3 GENERAL CORNICE SECTION
SCALE: 1/2"=1'-0"

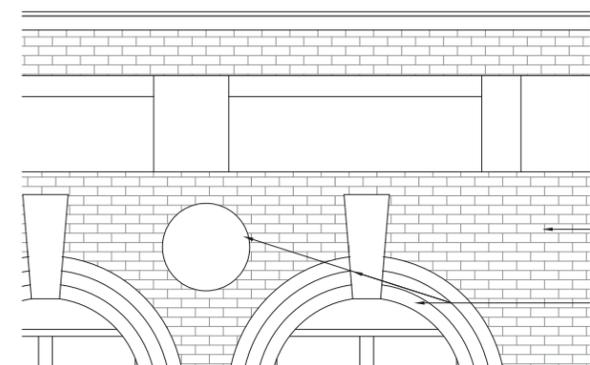


4 CORNICE PROFILE
SCALE: 1 1/2"=1'-0"

EXPOSE/CLEAN TO
EXPOSE VISIBLE BRICK
AROUND NEW CORNICE
EXISTING STONE
EXISTING BRICK

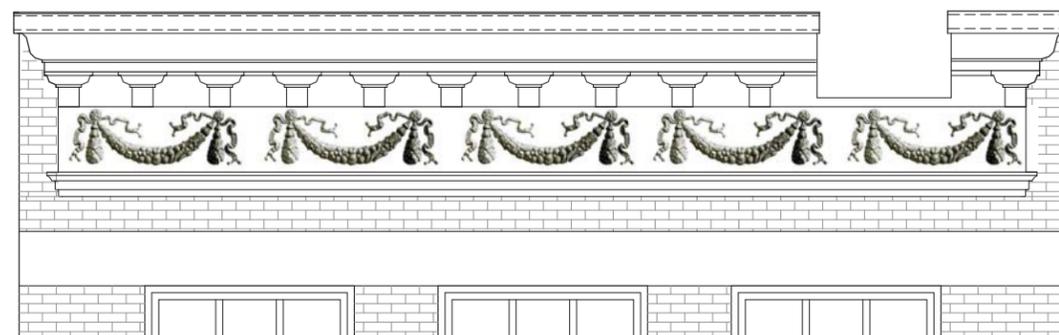


6 EXISTING CROSBY ST CORNICE - ELEVATION
SCALE: 1/4"=1'-0"



1 EXISTING LAFAYETTE ST CORNICE - ELEVATION
SCALE: 1/4"=1'-0"

EXISTING BRICK
FACADE
EXISTING STONEMWORK
TO REMAIN, TYP.

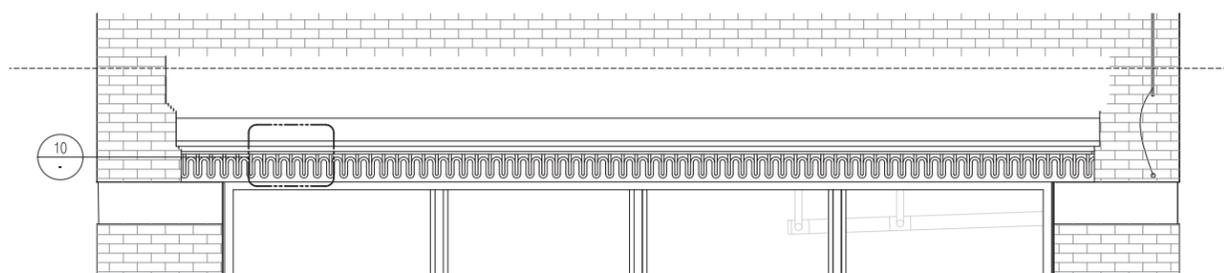


7 PROPOSED CROSBY ST CORNICE - ELEVATION
SCALE: 1/2"=1'-0"
DTL 3,4,5

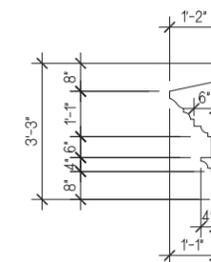
DIMENSION AND
MATERIAL OF NEW
CORNICE TO MATCH
LAFAYETTE SIDE,
SEE LAFAYETTE
DETAILS 2 ABOVE



10 CORNICE PROFILE
SCALE: 1 1/2"=1'-0"



8 LAFAYETTE ST STOREFRONT CORNICE - ELEVATION
SCALE: 1/2"=1'-0"



9 CORNICE SECTION
SCALE: 1/2"=1'-0"
DTL 8

REVISION DESCRIPTION	
NO.	DATE
3	08/05/2015
2	05/12/2015
1	05/12/2015

FOR PUBLIC HEARING REVIEW: COMMUNITY BOARD PRES
FOR PUBLIC HEARING REVIEW: COMMUNITY BOARD PRES
LPC PROJECT REVIEW 2

LPC SUBMISSION 08/05/2015
CITY PLANNING
SUBMISSION 05/12/2015
PROJECT LOCATION
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BROOKLYN NY 11238
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F 631.614.4356
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REGISTERED ARCHITECT
ROBERT CODY
STATE OF NEW YORK
029903

TITLE:
LAFAYETTE STREET BUILDING CORNICES

SHEET NO.
L208.00